



Proposed Development Scheme

Bowen Hills Urban Development Area

For consultation October 2008

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Introduction

1. The Urban Land Development Authority

The Urban Land Development Authority (ULDA) is a statutory authority under the *Urban Land Development Authority Act 2007* (“the Act”) and is a key element of the Queensland Housing Affordability Strategy.

The role of the ULDA is to facilitate the development of declared Urban Development Areas (UDAs) to move land quickly to market and achieve housing affordability and urban development outcomes. This enables the Government to be more effective and proactive in providing land for urban development, particularly through major strategic infill and redevelopment sites. The ULDA is also a vehicle to deliver the Government’s transit oriented development (TOD) projects throughout the State where they occur in UDAs.

The ULDA, which became operational on 26 November 2007, is working with local governments, community, local landowners and the development industry to deliver commercially viable developments that include

diverse, affordable, sustainable housing and use best-practice urban design principles.

2. Urban Development Areas

Bowen Hills Urban Development Area (UDA) was declared by regulation by the Minister for Infrastructure and Planning on 27 March 2008.

3. Purpose of the Development Scheme

Bowen Hills UDA Development Scheme has been prepared in accordance with the Act and is applicable to all development on land within the boundaries of the UDA. It is a statutory instrument and has the force of law.

From the date of approval, it replaces the Interim Land Use Plan for the UDA which commenced upon declaration and remained in place during the period of preparation of this Development Scheme. A Development Scheme is one of the primary mechanisms the ULDA uses to deliver on the main purposes of the Act.

As prescribed by the Act, the main purposes of the Development Scheme are to facilitate -

- (a) the availability of land for urban purposes;
- (b) the provision of a range of housing options to address diverse community needs;
- (c) the provision of infrastructure for urban purposes;
- (d) planning principles that give effect to ecological sustainability and best practice urban design; and
- (e) the provision of an ongoing availability of affordable housing options for low to moderate income households.

Through the Development Scheme, development in Bowen Hills UDA will contribute to achieving the following goals -

- Promoting and maintaining liveable communities.

Communities within Bowen Hills UDA are diverse, safe and healthy, have access to services, jobs and learning, foster active local participation and are pleasant places to live, work and visit while enhancing the value of existing neighbourhoods;

- Promoting planning and design excellence.

Bowen Hills UDA has a modern resilient and adaptable urban form that promotes connectivity, safety and accessibility whilst recognising the local values and aspirations;

- Providing economic benefit.

Economic benefit is maximised in Bowen Hills UDA by facilitating the release of urban land, considering lifecycle costs, operational savings, long term employment opportunities, creating partnering opportunities and creating long term value; and

- Protecting ecological values and optimising resource use.

Bowen Hills UDA protects and manages natural systems, habitats and biodiversity, and promote the innovative and efficient use and management of precious resources such as materials, water and energy to minimise impacts on the climate.

4. Elements of the Development Scheme

Bowen Hills UDA Development Scheme consists of three (3) components being -

- the Land Use Plan;
- the Infrastructure Plan; and
- the Implementation Strategy.

The Land Use Plan regulates orderly development and articulates the preferred form of development in the UDA, its precincts and sub-precincts.

The Infrastructure Plan details essential infrastructure and outlines proposed financing mechanisms to deliver the infrastructure.

The Implementation Strategy describes how the ULDA will deliver the purpose of the Act drawing together the components of the Land Use Plan and Infrastructure Plan.

Strategic Context

1. Location

Bowen Hills Urban Development Area (UDA) is approximately 108 hectares in area and located approximately three (3) kilometres north of Brisbane's CBD at the point of convergence of Brisbane's main northern arterials and railway lines. It is also the main emergence point of major tunnel projects. It has easy access to Brisbane Airport and Australia TradeCoast (ATC) and is located close to employment nodes such as the Royal Brisbane Hospital, Fortitude Valley and Newstead.

The UDA is bounded by Bowen Bridge Road and Enoggera Creek to the west, the Mayne Rail Yards and Breakfast Creek to the north, Water Street and St Pauls Terrace to the south and Breakfast Creek, Cintra Road and Markwell Street to the east. The boundaries of the Bowen Hills UDA are shown on MAP 1. FIGURE 1 shows a view looking south over the Bowen Hills UDA towards the city.

The UDA contains a number of landmark places including the RNA Showgrounds, the Old Queensland Museum, Perry Park and Bowen Hills Railway Station.

The UDA is well serviced by public transport. Bowen Hills Railway Station is one of only four railway stations in Brisbane through which all of the northside's suburban passenger lines pass and which all southside railway lines are connected. Approximately 25 hectares of the UDA is located within a five minute walk (or 400 metres) of the railway station. The Northern Busway is currently being extended along Bowen Bridge Road and will provide a new bus station at the Royal Brisbane and Women's Hospital.

The Bowen Hills UDA is close to significant destinations and places within the Brisbane inner city, including Albion, Breakfast Creek, Newstead River Park, Teneriffe, the James Street Precinct and Fortitude Valley.

MAP 1: Bowen Hills Urban Development Area Boundary



FIGURE 1: Looking south, over the Bowen Hills UDA, towards Brisbane City



2. Vision

Bowen Hills Urban Development Area (UDA) is where Brisbane's two main northern arterials converge. It is also where all of the city's northern railway lines join. Bowen Hills will soon be where northbound traffic emerges from the Clem Jones Tunnel, after having travelled under the city centre. In only a few more years it will also be where traffic seeking to access the city centre emerges from the Airport Link tunnel.

In almost every sense, Bowen Hills should be regarded as the northern gateway to Brisbane's city centre. That it has not assumed this status before now is due to the influence of several unrelated, but compounding circumstances.

Although famed for its large events, the Royal National Association (RNA) Showgrounds is an inaccessible cluster of compounds for most of the year. Likewise, the Mayne Railway Yards are off limits for all but railway workers. Other transport infrastructure such as the Inner City Bypass, the progressively emerging elevated roadways of the Clem Jones Tunnel connections and the tired condition of the Bowen Hills Railway Station do not lay the foundations for an inviting people place.

Other factors that have, in the past, limited the potential of Bowen Hills include -

- the lack of land use diversity, community facilities and services, which has detracted from the amenity and attractiveness of Bowen Hills as a destination;
- a lack of public places for informal gathering and significant buildings that offer civic space around the Bowen Hills Railway Station;
- narrow, indirect, poorly lit and difficult to navigate routes to Bowen Hills Railway Station;
- a poor, fragmented public realm;
- a lack of active street edges;
- a street network that lacks permeability;
- vehicle dominated roads and exposed pedestrian environments; and
- small land parcels under segmented ownership.

But circumstances are about to change and Bowen Hills is set to capitalise on its gateway location.

Bowen Hills is ideally located to take advantage of both the continuing interest in residential accommodation and the high demand for new office floor space in the inner city and near city locations. It is close to Brisbane's CBD, has good access to the Brisbane Airport and Australia TradeCoast, has an excellent standard of rail service and contains several large sites that are either underutilised or prime redevelopment prospects.

Under the Development Scheme, Bowen Hills will become the northern gateway to the centre of Brisbane and will develop as a vibrant, inner urban locality, accommodating a wide, integrated and balanced range of uses that are connected by a high quality public realm.

Taking advantage of its strategic gateway location and high frequency public transport, future development within comfortable walking distance of the Bowen Hills Railway Station will exemplify best practice inner city transit oriented development (TOD) and deliver the densities required to increase public transport patronage.

Through the Development Scheme, Bowen Hills will achieve a range of housing options and contribute to making housing more

affordable. Housing in the area will deliver choice and diversity by offering a mix of densities, types, designs, tenures and levels of affordability and catering to a range of lifestyles, incomes and lifecycle needs.

The transformation of this area will demonstrate the principles of sub-tropical urban design through innovative architecture and new public space.

A network of public transport and pedestrian and bicycle paths will ensure the area is a connected place and that people who live and/or work there can incorporate physical activity and healthy living into their daily lives.

The successful renewal of Bowen Hills and the creation of a unique and complementary employment centre is critical to enhancing the appeal and competitiveness of Brisbane's city centre.

2.1. The Vision in Detail

At the heart of Bowen Hills will be a high intensity mixed use precinct taking advantage of the transit oriented development opportunities afforded by Bowen Hills Railway Station. This precinct will also feature a high quality public realm including a plaza adjacent to the station and a network of pedestrian and cycle connections.

South and east of the heart will be residential precincts reinforcing and taking advantage of the area's facilities and services. East of Abbotsford Road the residential development will scale down to a low intensity form fronting Cintra Street. South of Campbell Street the ground floor levels of residential developments fronting connecting streets will be characterised by active uses contributing to the establishment of high quality streetscapes.

Mixed use precincts south and west of the heart will provide for hospital related activities and provide a strong built form along O'Connell Terrace and Bowen Bridge Road complementing the prominent built form of the hospital complex, creating a clearly defined northern gateway to the city centre

The RNA Showgrounds will continue to be a venue for major events but will benefit from a program of redevelopment and renewal that will see extensive mixed use activities established there. This will activate the showgrounds year round and contribute to the creation of vibrant precincts that have a positive interface with, and enliven, perimeter streets. Pedestrian connectivity through the showgrounds will enhance the permeability of the precinct.

Existing areas of public open space at Bowen Park and Perry Park will be retained and enhanced to provide improved recreation and sporting opportunities.

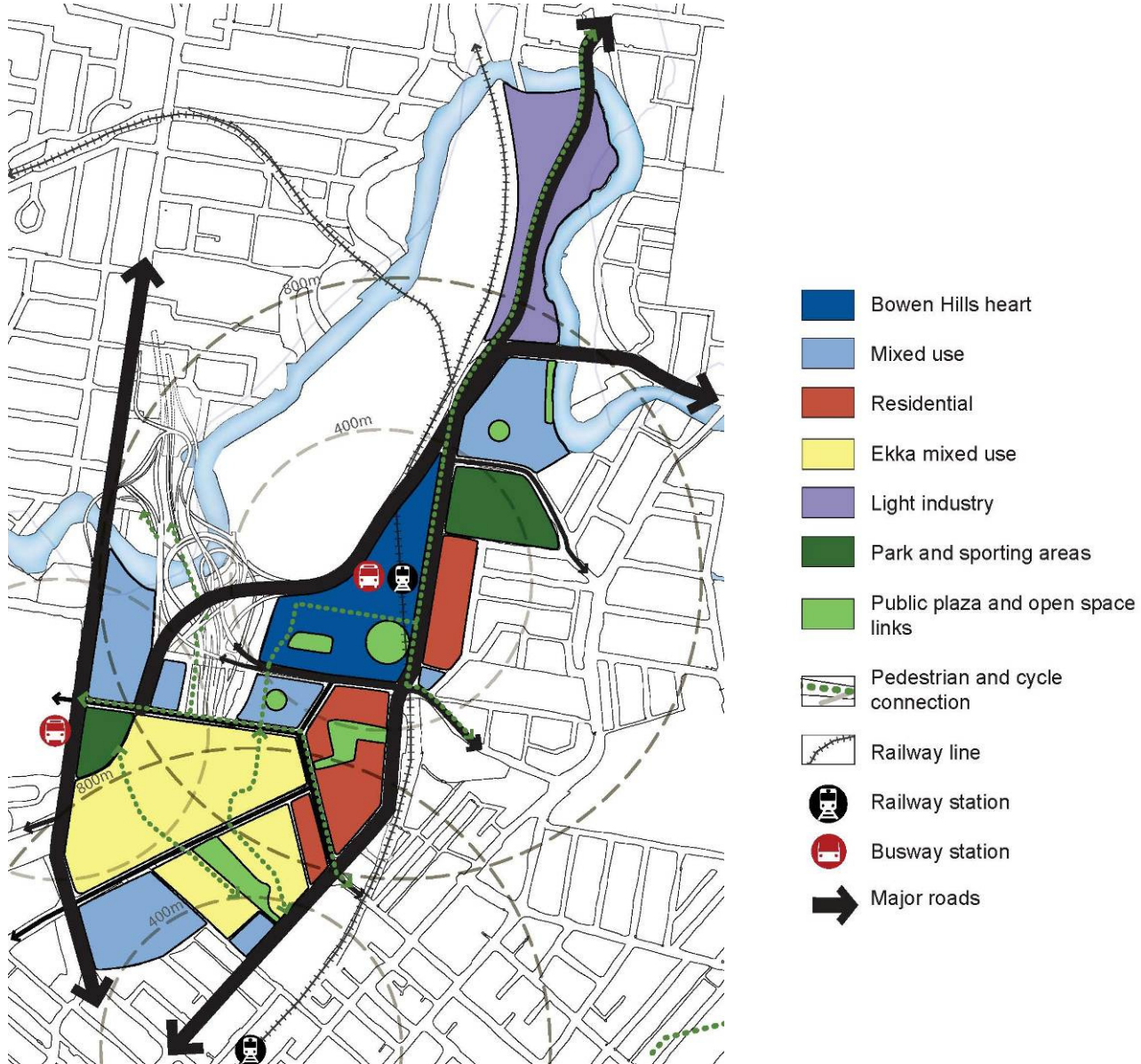
The precinct between Gregory Terrace and Water Street will provide for intensive mixed use development close to Brunswick Street with significant residential redevelopment opportunities adjacent to the RNA Showgrounds site.

The precinct between Perry Park and the Inner City Bypass will be characterised by mixed use activities of moderate intensity taking advantage of the proximity to both the heart of Bowen Hills and the Breakfast Creek corridor.

The industrial activities north of the Inner City Bypass will continue to provide services to the inner city and business support for the activities in nearby areas. Opportunity will be taken to provide for public access along the Breakfast Creek corridor as redevelopment occurs.

This Vision is spatially illustrated in MAP 2: Bowen Hills Urban Development Area Structure Map.

MAP 2: Bowen Hills Urban Development Area Structure Map



Land Use Plan

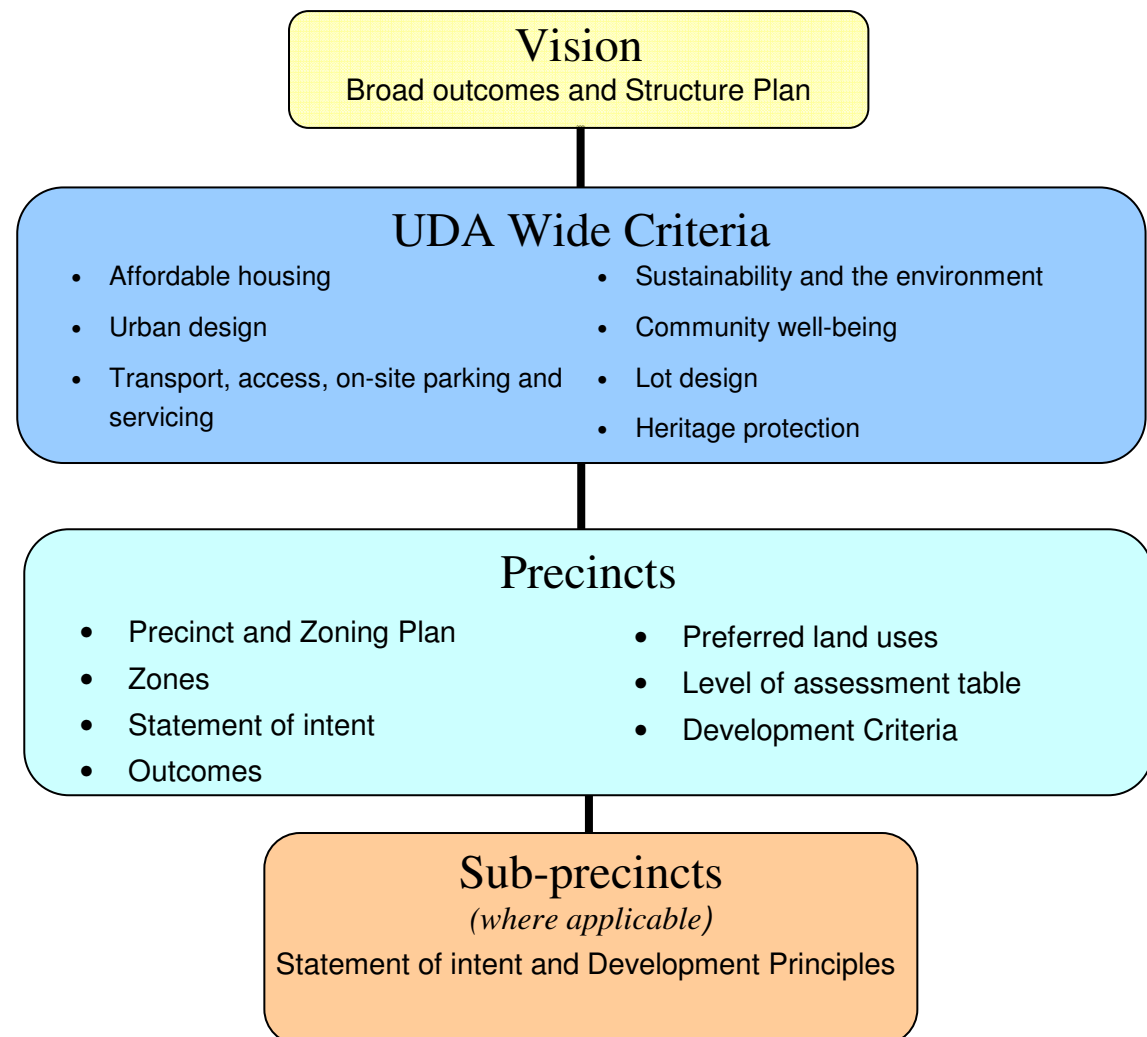
Part 1: Context

1. Purpose of the Land Use Plan

The purpose of the Land Use Plan is to regulate orderly development and articulate the preferred form of development within the Urban Development Area (UDA), its precincts and sub-precincts.

FIGURE 2 details the components of the Land Use Plan and explains their relationship to each other.

FIGURE 2: Components of the Land Use Plan and their Relationship



2. Development Assessment Procedures

2.1. Land Use Plan Seeks to Achieve the Following Outcomes

The Land Use Plan seeks to achieve outcomes for the UDA which are specified in the following –

- (i) the broad statements of planning intent for the UDA specified in the vision; and
- (ii) the requirements about the carrying out of development within the UDA.

2.2. UDA Vision

The vision for the UDA specifies UDA planning outcomes which –

- (i) seek to achieve for the UDA the purposes of the Act; and
- (ii) are the basis for the requirements about the carrying out of development for the UDA.

The UDA planning outcomes are spatially represented in MAP 2.

2.3. Requirements about the carrying out of development for the UDA

The requirements include the following –

- (i) maps that indicate the future development of the following –
 - the whole UDA;
 - designated parts of the UDA (precincts); and
 - designated parts of precincts (sub-precincts);
- (ii) criteria for the whole UDA (UDA-wide criteria);
- (iii) zones, statements of intent, outcomes, preferred land uses and development requirements for each precinct (Precinct criteria) and Sub-precinct criteria; and
- (iv) tables specifying the level of assessment for development for each precinct (level of assessment table).

2.4. Levels of Assessment

The levels of assessment for the carrying out of development for the UDA are specified in the Land Use Plan in the relevant Level Assessment Table which state in –

- (i) column 1, UDA exempt development;

- (ii) column 2, UDA self assessable development (self assessable development);
- (iii) column 3A, UDA assessable development which is not prohibited (permissible development); and
- (iv) column 3B, UDA assessable development which is prohibited (prohibited development).

2.5. Development Consistent with the Land Use Plan

UDA self-assessable development which complies with the development requirements is consistent with the Land Use Plan.

Permissible development is consistent with the land use plan where –

- (i) the development complies with the requirements about the carrying out of development for the UDA; or
- (ii) the development does not comply with the requirements about the carrying out of development for the UDA but –
 - the development does not conflict with the structure plan or otherwise compromises the UDA planning

outcomes in the vision for the UDA;
and

- there are sufficient grounds to approve the development despite the non compliance with the UDA development requirements.

Permissible development that is inconsistent with the Land Use Plan must be refused.

Identification of development as permissible development does not mean that a UDA development approval (with or without conditions) will be granted.

Permissible development requires a UDA development application to be lodged with the Urban Land Development Authority (ULDA) for assessment and decision. Approval is required for permissible development to be undertaken.

Prohibited development is inconsistent with the land use plan.

Prohibited development may not be carried out in the UDA.

In this section grounds means matters of public interest which include the following–

- the matters specified in the purposes of the Act;
- superior design outcomes; and

- overwhelming community need;

Grounds does not include the personal circumstances of an applicant, owner or interested third party.

2.6. Sub-precinct Development Requirements

A sub-precinct shall not be developed unless a detailed plan for the sub-precinct (sub-precinct plan) has been approved as part of the UDA development application applicable to the sub-precinct or a UDA development approval was given under the Interim Land Use Plan.

A sub-precinct plan must include the following –

- a statement of intent for the precinct;
- requirements for development in the sub-precinct; and
- such other matters specified in a guideline issued by the Urban Land Development Authority.

A sub-precinct plan may include a table specifying the level of assessment for development in the sub-precinct.

A sub-precinct plan may vary the effect of the following –

- the sub-precinct criteria; and
- the level of assessment table applicable to the sub-precinct.

2.7. Consideration in Principle

The Urban Land Development Authority may accept an application for consideration in principle of a proposed UDA development application for development of the UDA (application for consideration in principle).

The Urban Land Development Authority will consider the application for consideration in principle and may decide the following –

- whether it supports the application, with or without qualifications that may amend the application;
- whether it opposes the application;
- whether it cannot accept the proposal until a detailed assessment is made and those details should be the subject of a UDA development application; or
- whether the proposal is a proposal on which the Urban Land Development Authority has no established view and no

indication of support or opposition can be given at that time.

The Urban Land Development Authority when considering a UDA development application –

- (i) is not bound by any decision made for an application for consideration in principle; and
- (ii) may give such weight as it considers appropriate to the decision in respect of the application for consideration in principle.

2.8. Land not Included in a Zone

This section applies to land which is not shown in the land use plan as being included in a zone (unallocated land).

Where the unallocated land is adjoined by land included in the same precinct, the unallocated land is deemed to be included in that precinct.

Where the unallocated land is adjoined by land included in different precincts, the unallocated land is deemed to be included in those precincts with the centreline of the unallocated land being the boundary between the precincts

Where the unallocated land is adjoined by land included in only one precinct, the unallocated land is deemed to be included in that precinct.

2.9. Notification requirements

A UDA development application will require public notification if the development application -

- (i) comprises a sub-precinct plan which seeks to vary the sub-precinct criteria;
- (ii) comprises a sub-precinct plan which seeks to vary the level of assessment applicable to the sub-precinct;
- (iii) is specified as requiring notification in the sub-precinct plan;
- (iv) seeks to vary UDA-wide development requirements or precinct development requirements; or
- (v) is for a use, or a size or type which in the opinion of the ULDA warrants public notification, as advised at the pre-application stage.

2.10. Relationship with Local Government Planning Scheme and IPA

This Development Scheme replaces the Bowen Hills Interim Land Use Plan (ILUP).

The ILUP and Development Scheme have the effect of replacing the planning scheme in force

in the city of Brisbane, within the boundaries of the UDA.

The *Integrated Planning Act 1997 (IPA)* and certain items within Schedule 8 of IPA continue to apply to land within the Urban Development Area.

3. UDA Zones

Land within a UDA may be allocated a zone.

The zones that may apply within an Urban Development Area (UDA) are categorised into 4 general areas: Mixed Use, Residential, Employment and Other.

Within each of these categories there are a number of zones. These zones are defined below.

3.1. Mixed Use

The **Mixed Use Centre Zone** caters for the widest range, highest order and greatest intensity of commercial, retail, administrative, civic, community, indoor entertainment, leisure facilities, cultural activities and mixed residential.

The **Mixed Use Zone** caters for a range of commercial, retail, administrative, civic, community, indoor entertainment, leisure facilities, cultural activities and residential uses.

The **Mixed Use Residential Zone** caters for predominantly residential uses where the gross floor area of non-residential uses does not exceed the gross floor area of residential uses.

3.2. Residential

The **Residential Medium Intensity Zone** caters for a range of residential types including dwelling houses, dual occupancies, multiple residential, special needs accommodation, affordable housing and adaptable housing reflecting local housing need and generally between 30 and 60 dwellings per hectare.

The **Residential High Intensity Zone** caters for a range of residential types including multiple residential, special needs accommodation, affordable housing and adaptable housing reflecting local housing need and generally between 60 and 100 dwellings per hectare.

The **Residential Very High Intensity Zone** caters for a range of residential types including multiple residential, special needs accommodation, affordable housing and adaptable housing reflecting local housing need and generally over 100 dwellings per hectare.

Non-residential land uses such as local shops, café's, schools, churches and community

infrastructure that provide direct support to residential uses may be suitable in all Residential Zones. Non-residential uses can only be established where residential character and amenity are maintained, when the uses cater for the needs of the immediate community and do not undermine the viability of any centres. Home based businesses are permitted in all Residential Zones where residential character and amenity are maintained.

3.3. Employment

The **Medium Impact Employment Zone** caters for commercial, enterprise-based and service and light industry uses which service the population and visitors and facilitate the expansion of small to medium scale business activities. The Medium Impact Employment Zone can also cater for warehouses, as well as services and trades, such as mechanical workshops, vehicle repair and service stations, showrooms, supporting office and retail, facilities required by the travelling public such as refreshment, accommodation, recreation and amusement, as well as non-commercial development where such development complements the intended commercial/enterprise character of the locality. Complementary development includes

dwellings attached to commercial development.

3.4. Other

The **Civic and Open Space Zone** caters for a full range of publicly accessible outdoor recreation and sport uses, from informal sports or events on a casual basis and the facilities associated with these such as picnic, children's play, courts and non-organised sporting facilities, and outdoor cultural, educational activities, public swimming pools, outdoor courts and parkland, and sports grounds. Any structures in the Civic and Open Space Zone will only occupy a small part of any site and may include facilities for spectators, club buildings and associated off-street parking facilities.

Part 2: UDA-wide Development Criteria

1. Purpose of Development Criteria

The following development criteria apply to all UDA assessable and self-assessable development in Bowen Hills UDA. To the extent that they are relevant, they are to be taken into account in the preparation of UDA development applications and the assessment of those applications by the ULDA.

In addition to these UDA-wide development requirements, land may be subject to precinct specific development requirements and sub-precinct development principles. Precincts and sub-precincts for Bowen Hills UDA are identified on Map 7: Precinct and Zoning Map.

UDA wide development criteria should be read in conjunction with the relevant precinct specific development requirements or sub-precinct development principles.

The Infrastructure Plan and Implementation Strategy may include further information, which should be taken into account in design and project feasibility planning for development proposals.

The Bowen Hills UDA-wide Development Criteria cover the following topics -

- Affordable Housing;
- Urban Design;
- Transport, Access, On-site Parking and Servicing;
- Sustainability and the Environment;
- Community Well Being;
- Lot Design; and
- Heritage Protection.

2. Maximum Development Yield and Development Contributions

2.1. Context

The creation of a healthy, sustainable and well serviced community in the Bowen Hills UDA will require positive intervention by government in relation to the achievement of essential infrastructure, affordable housing and ecologically sustainable outcomes.

Within the Bowen Hills UDA, significant infrastructure investment is required to enable any practical increase in development intensity above that currently allowed for under the

Brisbane City Council City Plan 2000. Yet the fragmented ownership pattern in the UDA, means that the financing of this infrastructure investment by any one land owner is not commercially viable. However it is not considered responsible to use public money to pay for the infrastructure, when the infrastructure and associated increase in yield will result in a windfall gain to private land owners.

Consequently, this development scheme is based on the principle that, where an increased development yield arises from the ULDA development scheme, a percentage of the uplift of land value must be shared with the Urban Land Development Authority (ULDA) as a development contribution. This contribution will assist the ULDA to -

- deliver essential infrastructure;
- provide affordable housing; and
- achieve ecologically sustainability outcomes.

2.2. Maximum Development Yield

The maximum development yield allowable under this development scheme will be –

- (i) that shown in Part 3 - where a development agreement has been entered into with the ULDA (in relation to infrastructure, affordable housing and ecologically sustainable development) in accordance with the Infrastructure Plan and Implementation Strategy);
- (i) that shown in MAP 3; or
- (ii) where evidence (satisfactory to the ULDA) is provided of a development approval that was effective immediately before the declaration of the Bowen Hills UDA (a “pre-existing approval”) - the development yield permitted by that approval.

2.3. Development Contribution Rate

The development contribution rate included in a development agreement entered into pursuant to Section 1.2 shall-

- Be approximately fifty percent (50%) of the land value uplift arising from the increase in GFA of a development proposal in excess of Map 3 or pre-existing approval;

- Be approved by the Minister in accordance with the Act;
- Apply in addition to any other infrastructure contributions required under this development scheme; and
- Unless otherwise approved by the ULDA, be applied in the proportion of:
 - 60% towards infrastructure;
 - 30% towards affordable housing outcomes (the “affordable housing contribution”); and
 - 10% towards ecologically sustainable development outcomes.

2.4. Development Agreement

The development agreement entered into pursuant to Section 1.2 may include amongst other things -

- Timing of payments;
- Bonding of payments;
- Credit for the provision of works or product in lieu of payment; and
- Any other matter that the ULDA deems appropriate in the achievement of the Act’s purpose.

3. Affordable Housing

3.1. Housing Diversity

All residential development (including residential components of a mixed use development) must deliver housing choice to suit a variety of households including: families, singles, couples, work-at-home occupiers, students, retirees, group accommodation households and people with special needs by offering variety in size, configuration, cost, adaptability, location and tenure.

Except as set out in Section 3.3, all residential and mixed use developments must have a minimum of 5% of dwellings that are able to be affordable to rent by households on the median household income for the Brisbane City Council local government area (the “affordable housing component”).

Where an applicant can not demonstrate that this requirement will be achieved by the proposed development -

- The applicant will need to enter into a development agreement with the ULDA by which the applicant agrees to pay to the ULDA an equivalent monetary contribution prior to the development approval for building work is given; or

- Where a subsidy is proposed by the applicant to achieve the affordability criteria, the subsidy must be protected by a legal arrangement to the ULDA's satisfaction.

Residential development is to be accessible and designed in accordance with universal and sustainable design principles¹ to meet the needs of diverse people and households over time.

The affordable housing component of a development must be distributed throughout the development and be finished to a suitable standard with all reasonable fixtures, services and appliances.

3.2. Development Agreement - Affordable Housing

In addition to the matters set out in Section 2.4 a development agreement entered into pursuant to Section 1.2 may state that -

- (i) In lieu of a monetary contribution, the affordable housing contribution may involve the provision of built product, or

¹ Refer to "Smart and Sustainable Homes Design Objectives, Department of Public Works (2008). Booklet available from www.build.qld.gov.au/smart_housing/pdf/design_objectives_08

- land, or a combination of built product, or land and a monetary contribution;
- (ii) Where a monetary contribution is to be paid, payment is due at the time the development approval for building works is given.
- (iii) Where land or built product, the contribution is due upon practical completion of the development or subject to the terms of the development agreement; and
- (iv) Any monetary contribution will be put towards providing affordable owner-occupied or affordable rental housing in the UDA.

3.3. Exemptions

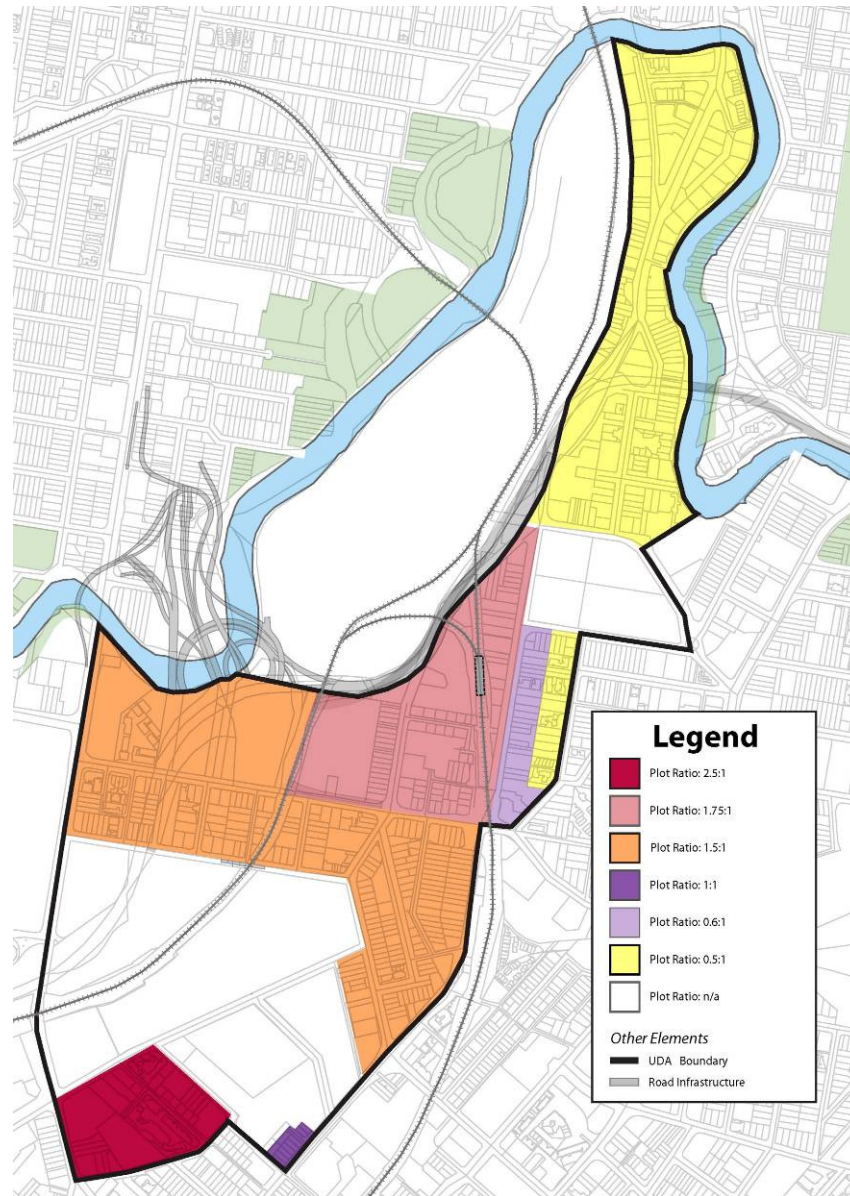
The following development types are exempt from providing the affordable housing contributions specified above -

- Development for the purpose of affordable housing (including social and community housing) and developed by: the Department of Housing; a registered community housing or non-profit organisation; or part of a consortium with a registered community housing or non-profit organisation for the provision of affordable

housing equivalent to the value of the affordable housing contribution;

- Development for the purpose of community facilities and services; or
- Development by a government, non-profit or charitable institution providing a community benefit; or
- Development for the purpose of a public utility facility.

MAP 3: Bowen Hills UDA Plot Ratios under BCC City Plan



4. Urban Design

The architecture, urban design, street frontages and public spaces within the Bowen Hills Urban development Area (UDA) should individually and collectively create an attractive and appealing place for residents and visitors.

A critical element to creating an attractive and appealing place is the nature and form of the building edges at ground and first levels.

4.1. Ground Level Detail

Ground level building elements must introduce a variety of detail and finishes.

(a) Entries

Front entries to all buildings must be expressed as feature elements of the building and be obvious without the need for signage.

(b) Awnings

At street level, awnings provide all year protection from sun and rain.

- Awnings to primary frontage retail activities must be continuous across the entire street alignment and extend over the footpath to within 0.9 metres of the street kerb.

- Awnings to secondary frontage commercial and mixed use buildings need not necessarily be continuous but must extend over the footpath to within 0.9 metres of the street kerb for the width of the buildings main entry.
- Buildings on corners must provide an awning over the main entry on each frontage.
- For residential buildings where awnings are not provided, street trees must provide protection from climatic conditions and separate pedestrians from traffic movement.

(c) Balconies

Covered balconies improve the liveability of buildings by providing external spaces that can be utilised under a variety of weather conditions. They are an intrinsic part of subtropical design and local culture.

- Residential buildings must contain generous balconies attached to major internal living areas overlooking streets and public spaces providing surveillance and connection with the street.
- Commercial and mixed use buildings must also feature balconies that overlook streets and public spaces providing surveillance and connection with the street.

- Balconies are to be appropriately located and/or screened to maximise privacy between buildings and/or to the public realm.

(i) Windows to retail tenancies

- Windows sills to retail tenancies should be within 100 - 300 millimetres above the corresponding footpath level.
- Floor levels behind can be higher than this on sloping footpaths.
- Window treatments such as mullions and display cases form part of this detail.

(ii) Use of reflective glass in windows is not appropriate.

(d) Landscaping

Landscaping contributes to the positive visual amenity and liveability of an area and will play a critical role in Bowen Hills.

- For residential development, landscaping must cover a substantial area of the site and provide on site recreation opportunities.
- For non-residential and mixed use development, landscaping must be designed and located to provide a positive

visual and amenity contribution to the public realm.

- Landscaping must not undermine personal and property security, surveillance of footpaths and public open space.
- Landscaping elements must be used to deter crime and vandalism.

(e) Fences and Walls

Except for specific feature walls associated with specific uses, fences or walls to ground floor residential uses must be visually permeable. 50 percent permeability generally provides an appropriate level of visual permeability.

4.2. Upper Level Detail

The upper level elements of buildings must incorporate appropriate elements such as overhangs and sun shading to detail the top of the building against the skyline. While lower floors need to respond to the geometry of streets, upper level elements of buildings above four storeys can have a different geometry to capitalise on a view or to achieve better orientation.

- Buildings must incorporate varied roof forms, building heights and massing aggregation of elements.

- Long flat facades with unbroken roof-lines and wall planes are not acceptable.
- Roof top plant and equipment must be contained within roof forms or screened from the street or from adjoining buildings using a consistent range of non-reflective materials to provide a cohesive design element.

4.3. Building Arrangement

The built forms of residential and office buildings are usually quite different, so to create a sense of urban coherence and relationships between the buildings within the UDA, they will need to adopt appropriate key massing techniques.

Key massing techniques are the use of recesses in the buildings in three horizontal locations: the ground floor, fifth floor and uppermost floor. The fifth level is a height where people still have visual contact with the street.

A continuous vertical, unarticulated building form with the same repetitive window treatment sitting on a featureless plaza is not considered appropriate.

The ground level, and where possible, the second level should accommodate uses to activate the public realm and the entrance

spaces to the above ground uses. This floor should be recessed to create shaded colonnades and express columns to reduce the appearance of the building above. A variety of setbacks on the ground floor create plazas, outdoor dining areas and open vistas in corners under higher podium elements above.

A recessed uppermost level allows the incorporation of terraces and roof decks. This also enables roof forms to be more visible and accentuated with a deeper soffit, enlivening the skyline of the UDA.

The most important recess is on the floor level at the transition of the podium and the tower. The recessed wall creates a distinctive break in the building, defining the podium below and the tower above.

(a) Podiums

Four floors provide an agreeable urban street scale and a vertical height where the details of buildings are more noticeable. The four storey podium levels of buildings are the primary elements that define the scale of streets and public spaces, providing overlooking for casual surveillance.

Podium facades have a lesser variety of setbacks and are stepped to create plaza spaces, strategic corners and more generous

entry plazas. Where residential uses are incorporated within lower podium levels, balconies may be more enclosed with solid balustrades, adjustable full height louvres, green walls and trellises as these will be overlooked by the taller surrounding development. The lighter attachments can be utilized to create a filtered green ‘veil’ over the façade.

Above ground podium car parking must be screened behind street facing uses.

Where residential uses are located above podiums, it is expected tower footprints will be smaller, providing opportunities for occupation of the roof with terraces, pergolas and green roofs.

(b) Towers

Towers of various footprint size should be located towards street corners and address major corners with taller, more vertical faces. Away from these locations, setbacks can be increased, walls angled and a greater variety of plan forms introduced.

Towers can be stepped in plan to accentuate verticality and reduce the bulk and horizontality of long unbroken facades, incorporate balconies and vertical gardens. Small double

storey terraces with landscaping can be incorporated.

These outdoor places on the façade create visual interest and niches of outdoor occupation by people, breaking up the skin of the building. Consideration should be given to the placement of primary living areas and terraces to not look directly onto living spaces in adjacent towers.

FIGURES 3, 4 and 5 are examples of how key massing techniques can be applied on different blocks configurations. These figures are examples only and do not show actual buildings.

FIGURE 3: Demonstrating the application of key massing techniques – mid-block



FIGURE 4: Demonstrating the application of key massing techniques – corner block

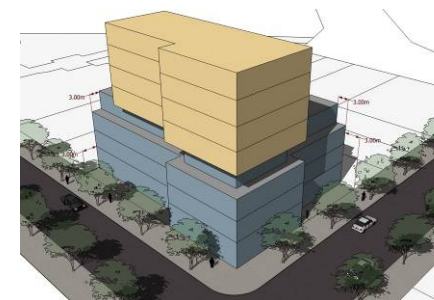


FIGURE 5: Demonstrating the application of key massing techniques – corner block



4.4. Building Frontages

Buildings in the UDA must contribute to an active and safe public realm.

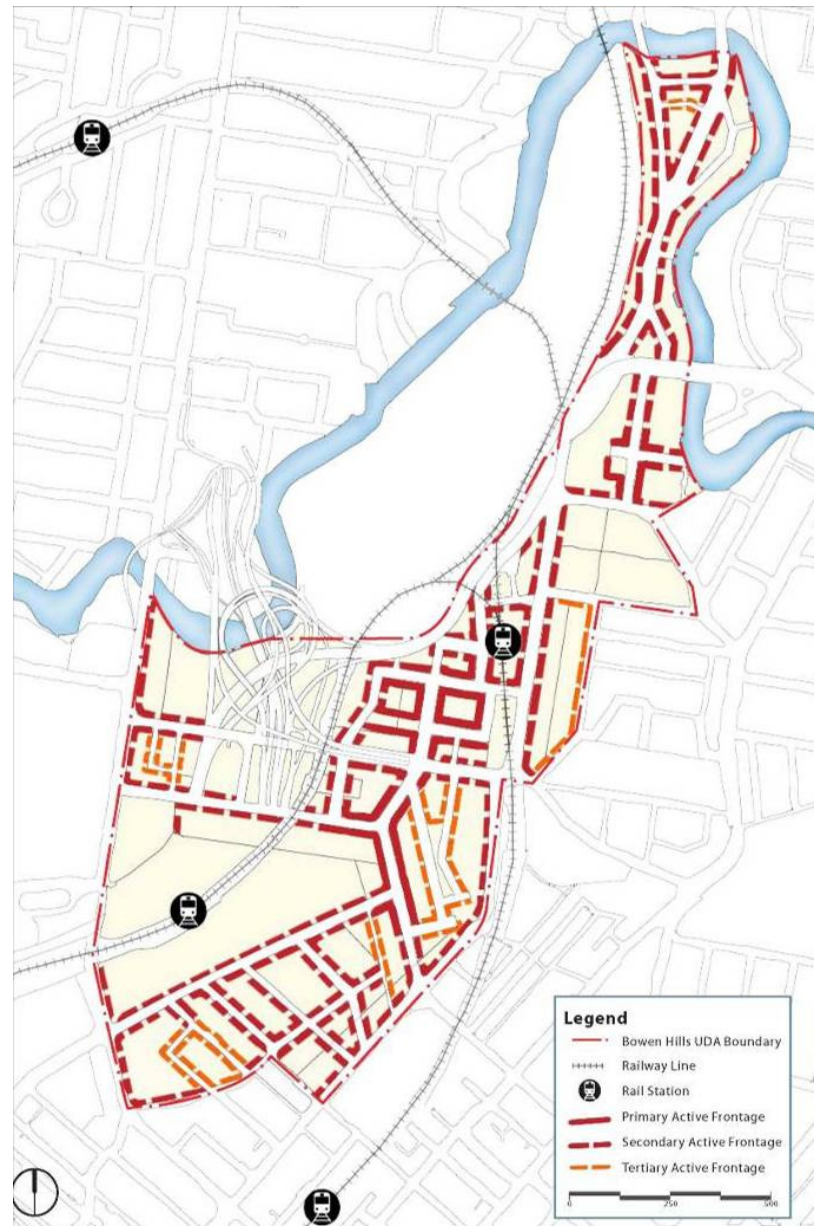
MAP 4 identifies the different frontages within the Bowen Hills UDA and describes their role for contributing to an active and safe public realm.

(a) Primary Active Frontages

Primary Active Frontages are the ground level facades which face the street. Within the UDA, these frontages are concentrated along Mayne Road and Hudd Street in the heart. On these frontages -

- buildings must be built up to or near the street edge, generally parallel to the street alignment and should support a mix of uses which encourage activity on the street for extended hours of the day and night. Uses may include retail, cafés, doctors, dentists and associated professional services as well as public services such as library, community facility and civic uses;
- frontages must be visually and physically permeable containing many windows and entrances. They must not include blank walls, louvre grills for plant rooms, parking areas or rows of fire escapes;

MAP 4: Frontages



- buildings must address the street, have strongly expressed pedestrian entrances, minimise the number and size of vehicle access points and use appropriate street treatment to reinforce the priority of the pedestrian,
- continuous awnings must provide shelter over footpaths for pedestrian comfort;
- car parking should not be visible from the public realm and should be located below or behind ground level activities; and
- upper floors must provide opportunities to overlook the street, increase surveillance and reinforce the active frontage.

(i) Secondary Active Frontages

Secondary active frontages are generally located away from major gateways and more intense pedestrian spaces. On these frontages-

- facades must contain well-detailed and articulated access points at frequent intervals along pedestrian networks and must not include blank walls;
- awnings must be located at key entry points.

Secondary frontages are not activated by retail and commercial uses.

(ii) Other frontages

On other frontages -

- buildings must address the street and public realm but a wider variety of setbacks is appropriate to allow for privacy to be maintained between street and dwelling and cater for courtyards, balconies and deep planting areas;
- basements are to be located within building footprints and must be set back from street alignments to allow areas for deep planting; and
- entries must be emphasised through architectural and landscape treatment, pedestrian movement paths, awnings and height.

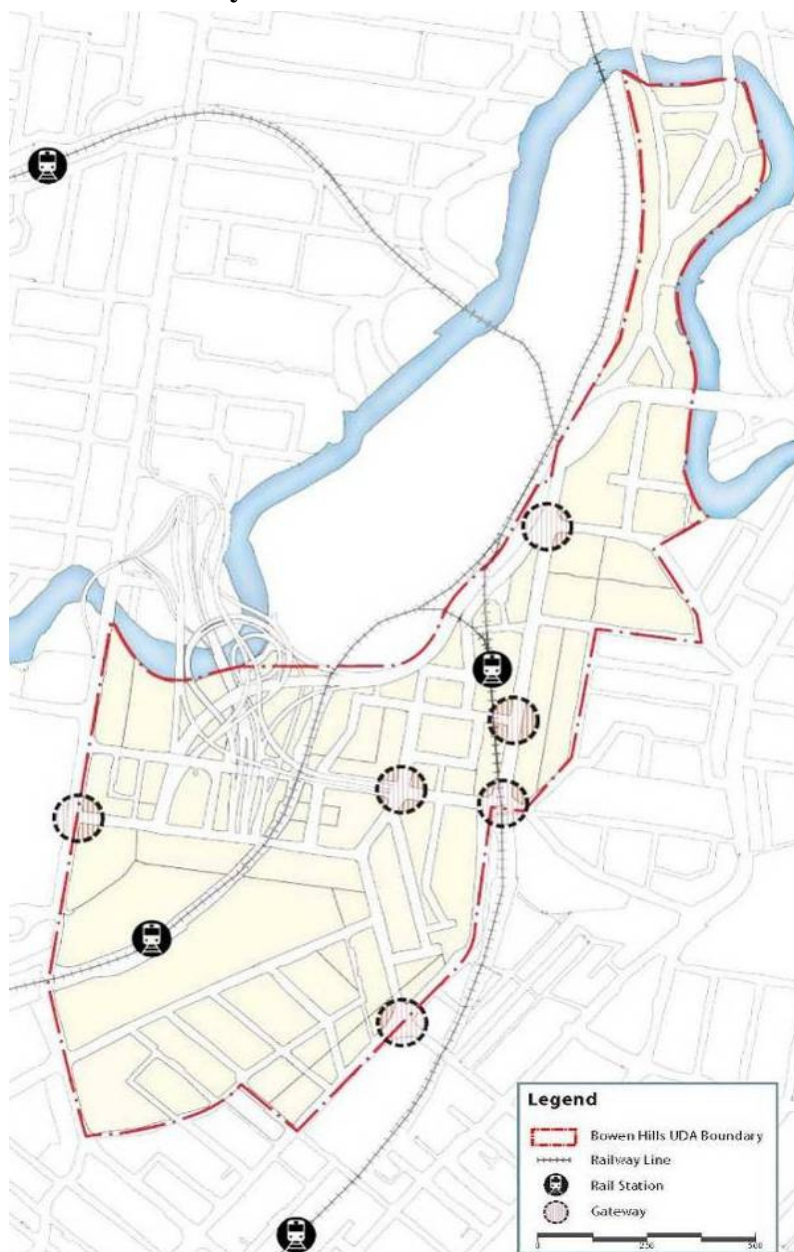
4.5. Gateways

A number of gateways are identified within the Bowen Hills UDA. These are shown on MAP 5 and are at -

- the intersection of O'Connell Terrace and Bowen Bridge Road;
- the intersection of Hudd Street and Abbotsford Road;
- the intersection of Edmondstone Road and Folkstone Road;
- the intersection of Abbotsford Road, Montpelier Road, Campbell Street and Markwell Street;
- the intersection of Brookes Street and St Pauls Terrace; and
- where the on and off ramps from Airport Link connect to Campbell Street

These gateways are to be reinforced through landmark buildings and their built form and landscape treatments.

MAP 5: Gateways



4.6. Landmark Buildings

Landmark buildings are appropriate where they help to reinforce gateways within the UDA or where they -

- complete and frame vistas and views;
- increase legibility and add to the sense of place; and
- provide a sense of scale at open spaces.

Landmark buildings are created through a change of scale, materials and/or architectural treatment.

4.7. Sub-tropical Design

Buildings within the Bowen Hills UDA should exhibit a strong subtropical character in order to be climatically responsive.

Appropriate design principles and strategies include -

- Buildings orientated to optimise seasonal solar gain and loss, taking into consideration major site views and vistas;
- Building form that allow for cross ventilation and support a naturally ventilated and comfortable environment;
- Weather protection and sun shading (including eaves and overhangs) incorporated into façades and roof forms to reduce direct solar heat and rain protection appropriate to each façade orientation;
- A building design that incorporates light and shade providing well detailed and articulated façades; and
- Outdoor/semi-outdoor living and 'indoor to outdoor' integration provided by the use of balconies and courtyards and large windows creating open facades.

4.8. Storage and Bin Areas

External storage and bin areas should be contained within the buildings and / or should not be visible from the public realm.

Building design and external storage and bin areas must facilitate the efficient sorting and disposal of waste to maximise recycling opportunities

4.9. Lighting

External lighting should be designed to light up the building, particularly entrances and vegetated areas, without overspilling into other buildings or the sky.

External materials should not cause unreasonable glare.

4.10. Sun-shading

Sunshading is to be considered on external windows to improve the environmental performance of the building and enhance the subtropical character. Sunshading elements may be vertical or horizontal or both depending on the solar orientation of the building.

4.11. Private Open Space

Common private open space must be provided in all residential developments.

Common private areas will -

- provide for a mixture of outdoor uses and activities;
- be positioned for good solar orientation;
- landscaped appropriately for a subtropical environment;
- minimise water use; and
- respect privacy of users and residents, including those on neighbouring properties.

A minimum of 16 square metres of private open space will be provided per dwelling unit.

All private open space will ensure that there is adequate room for outdoor private activity that accommodates a table, chair, planting BBQ and shade.

Ground floor private space must have fencing or level changes to provide privacy but still allow overlooking to the street to promote casual surveillance. Fences will be no higher than 1500mm and are to be visually permeable.

4.12. Place Making

Development contributes to a sense of place through -

- creating distinctive character and identity;
- exhibiting architectural quality;
- well structured and permeable streets;
- streets are pedestrian and cycle friendly;
- movement is integrated with surrounding areas;
- creating public realms that are accessible and safe;
- being well assessable to public transport;
- building and supporting a local economy;
- comprising and attracts a diverse population;
- Providing opportunities for formal and informal gathering;
- Creating visual interest; and
- Promoting a good relationship between buildings, streets and spaces.

4.13. Accessibility, Permeability and Movement

Development must -

- create a network of cycle safe roads and highly interconnected, attractive and

efficient bikeways that give cyclists a choice of routes connecting major activity nodes with each other and also linking them to residential areas; and

- provide appropriate end-of-trip facilities including bicycle parking and shower/change rooms are incorporated into developments that are likely to attract significant numbers of bicycle trips, such as business centres, workplaces, community facilities, educational facilities and retail developments. Cycle facilities are to be provided consistent with AS2890.3.

Development is to give high priority to connectivity, directness of route and facilities by -

- providing access to existing and proposed cycle and pedestrian networks; and
- prioritising pedestrian and cycle movements over vehicle movements.

5. Transport, Access, On-site Parking and Servicing

5.1. Car Parking

On-site car parking areas, loading bays and service areas are either integrated within or under buildings and sleeved by active

frontages or are located away from the public realm behind buildings.

The use of large blank screens to mask loading areas is not appropriate.

Slope should be used to create basement or semi-basement parking area.

Vehicle service area cross-overs and car parking must not detract from the character of active edges.

Development is required to provide on-site car parking in accordance with the rates set out in the Precinct development Criteria or Sub-precinct Development Principles.

5.2. Circulation

Development is to support increased accessibility, permeability and movement for pedestrians and cyclists and appropriate movement by vehicles.

Cycle way paths and high quality cycling facilities are to be incorporated in all new road within the sub-precincts.

Development is to be designed to include safe and highly visible connections to pedestrian and cycle networks through landscape design elements and treatments.

5.3. End of Trip Facilities

End of trip facilities for pedestrian and cyclists are to be provided as part of development for non-residential purposes, including secure, undercover bicycle storage facilities, showers and lockers.

Bicycle facility targets for apartments are -

- residents – to have secure space per dwelling according to AS2890.3; and
- visitors – to have secure space per 400m² according to AS2890.3

Bicycle facility targets for sites other than apartments are -

- residents – to have secure space per 200m² NLA according to AS2890.3; and
- visitors – to have secure space per 1000m² NLA according to AS2890.3

6. Sustainability and the Environment

6.1. Safety and Risk

Development adjacent to a rail corridor is designed to ameliorate the risks associated with proximity to a rail corridor (such as collisions with rolling stock or dangerous goods).

6.2. Contaminated Land

Development will ensure that all land and groundwater will be fit for purpose.

Remediation will meet Environmental Protection Agency (EPA) Guidelines for the assessment and management of contaminated land in Queensland

6.3. Acid Sulfate Soils (ASS)

The following site works will trigger an ASS investigation -

- Development areas below 5m AHD involving the disturbance of greater than 100m³ of soil;
- Development areas below 5m AHD requiring the placement of greater than or equal to 500m³ of fill material in layer of greater than or equal to 0.5m in average depth; and
- Development areas between 5m AHD and 20m AHD requiring the disturbance of greater than or equal to 100m³ of soil below 5m AHD.

Acid sulfate soils will be treated in accordance with current best practice in Queensland².

6.4. General Noise Requirements

The design, siting and layout of development must address noise impacts and where necessary incorporate appropriate noise mitigation measures.

Development achieves acceptable noise levels for noise sensitive uses for areas affected by rail noise. Noise sensitive uses (such as residential) meet indoor design level noise criteria to achieve average maximum sound level (10pm – 6 am) not greater than 50 decibels (db).

Where determined necessary by the ULDA, an acoustic report will be required to evaluate and address potential noise impacts and recommend appropriate noise mitigation measures.

6.5. General Air Quality

Development will limit exposure and risk associated with pollutants that could have a potentially adverse affect on human health.

² Consideration should be given to State Planning Policy (SPP) 2/02 Planning and Management Involving Acid Sulfate Soils and the Queensland Acid Sulfate Soils Technical Manual

Development will be in accordance with best practice air quality guidelines and standards³

6.6. Water

The precinct layout and design is compatible with current best practice water sensitive urban design (WSUD) principles for Queensland.

All development precincts and at least one major transport route located above 1% annual exceedence probability (AEP) flood events.

The land use plan uses an integrated water cycle management approach to improving water use efficiency across the area.

6.7. Energy Efficiency

Development promotes energy efficiency by encouraging:

- alternative energy supply through the use of renewable energy sources;
- passive thermal design of buildings;
- energy efficient plant and equipment; and
- use of natural light and energy efficient lighting.

³ Refer to Brisbane City Council's Air Quality Planning Scheme Policy and the Queensland EPA Guidelines on Odour Impact Assessment from Developments.

6.8. Lifecycle Costs and Materials

Development encourages sustainable features and smart design to reduce construction and operating costs.

Development encourages the efficient use of resources and waste minimisation.

7. Community Well-being

7.1. Community Safety

All development will incorporate safety features in line with current standards and best practice guidance, including: fire safety systems, alarms, emergency vehicle access and security systems.

All buildings and public and private spaces will be designed to be inclusive and accessible and to comply with relevant standards⁴.

All development will be in accordance with "Crime Prevention through Environmental Design (CPTED) Guidelines for Queensland".

Development adjacent to rail corridors must be designed to ameliorate the risks associated with proximity to a rail corridor

⁴ disability discrimination legislation and Australian Standard 1428

Development in operational airspace does not cause a permanent or temporary obstruction or potential hazard to aircraft movements.

7.2. Healthy Design

All development will promote community health and wellbeing through a design⁵ that supports a healthy and active lifestyle including -

- a network of cycle safe roads and highly interconnected, attractive and efficient bikeways that give cyclists a choice of routes connecting major activity nodes with each other and also linking them to residential areas;
- ensure appropriate end-of-trip facilities including bicycle parking and shower/change rooms are incorporated into developments that are likely to attract significant numbers of bicycle trips, such as business centres, workplaces, community facilities, educational facilities and retail developments. Cycle facilities are to be provided⁶;
- Highest density development is to be within 800m of public transport points and provide good pedestrian access to and from those points; and

⁵ For example design principles in "Healthy by Design Guideline" (National Heart Foundation, Victoria, 2004)

⁶ consistent with AS2890.3.

- Public spaces promote inclusion and sociability through a range of uses suitable for different abilities including both passive and active uses, such as social, recreation, reflection activities and functional access.

7.3. Culture and Identity

Where appropriate the design of buildings and public realms will protect, incorporate and re-use existing heritage, character or cultural features.

8. Lot Design

Lots must have an appropriate area and dimension for the siting and construction of the buildings, the provisions of outdoor space, the relationship to adjoining development and public realm, convenient vehicle access and parking.

Lots frontages must address streets and civic and open space to facilitate personal and property security, surveillance of footpaths and public open space and deter crime and vandalism.

Lots sizes and dimensions must enable buildings to be sited to -

- Protect natural and cultural features;

- Address site constraints including slope, soil erosion, flooding and drainage;
- Retain special features such as trees;
- Ensure that lots are not subject to unreasonable risk, hazard, noise impacts or air quality impacts;
- Ensure reasonable buffers between existing or potential incompatible land uses; and

Maximize solar orientation benefits to assist energy rating targets.

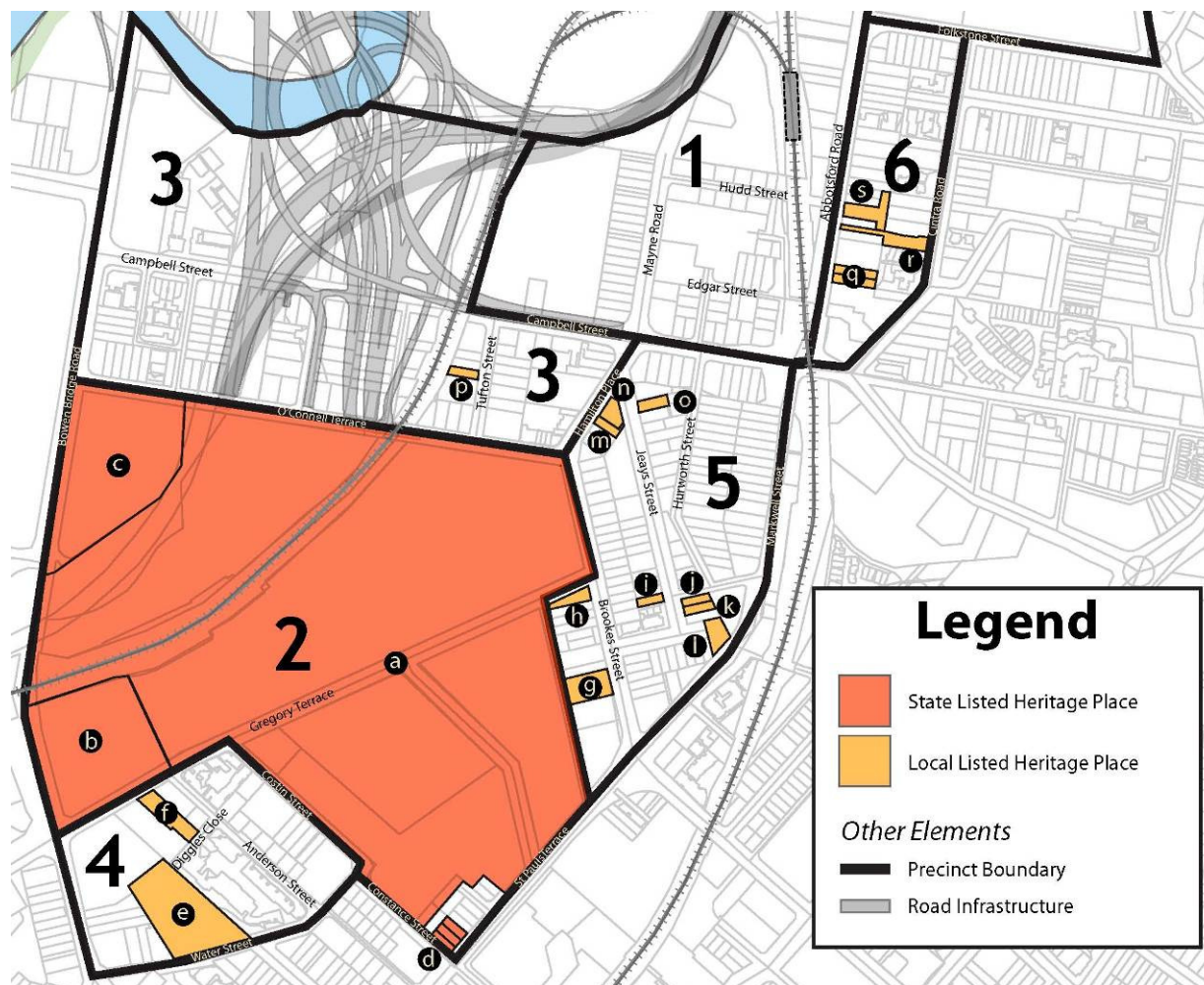
9. Heritage Protection

Development on, or adjoining, a heritage place as identified in MAP 6 must respect the heritage values of the site by sensitively managing the interface between development opportunities and the heritage place.

List of Heritage Places

- | | |
|---|---|
| a Brisbane Exhibition Grounds & Railway Station:
574 Gregory Tce | k Residence: 36 Jeays St |
| b Old Queensland Museum Building: 480 Gregory Tce | l 'Pymore' / Nurses' Rest Home:
19 Mallon St |
| c Bowen Park: O'Connell Tce & Bowen Bridge Rd | m Residence 'Kalmia':
5 Hamilton Pl |
| d Jubilee Hotel:
464-468 St Pauls Tce | n Residence: 7 Hamilton Pl |
| e Former Water St Army Depot:
342 Water St | o Bowen House: 6 Jeays St |
| f Tourist Private Hotel Motel:
555 Gregory Tce | p Tufton House: 8 Tufton St |
| g KM Smith: 53 Brookes St | q Residence 'Abbotsleigh':
11-13 Abbotsford Rd |
| h RGM House / Ardrossan Hall:
33 Brookes Street | r Residence: 22 Cintra Rd |
| i Residence 'Kings Lynn':
37 Jeays St | s Residence 'Abbotsford':
25 Abbotsford Rd |
| j Residence 'Wyeverne':
34 Jeays St | |

MAP 6: Heritage Place Map



Note: There are currently no listed heritage places within Bowen Hills UDA Precincts 1, 7, 8 or 9

Part 3: Precincts and Sub-precincts

1. Introduction

The Bowen Hills UDA is divided into nine (9) precincts and 4 sub-precincts. Land within the UDA is also allocated a zone.

The location and boundaries of the precincts and sub-precincts are shown on MAP 7: Zoning and Precinct Plan.

The zones are explained in detail in Part 1, Section 2(d) of the Land Use Plan.

Legend

Precincts

- 1** UDA Heart
- 2** Ekka Precinct
- 3** RBH Precinct
- 4** Water St Precinct
- 5** Markwell St West Precinct
- 6** Montpellier Precinct
- 7** Perry Park Precinct
- 8** Thompson Street Precinct
- 9** Breakfast Creek Precinct

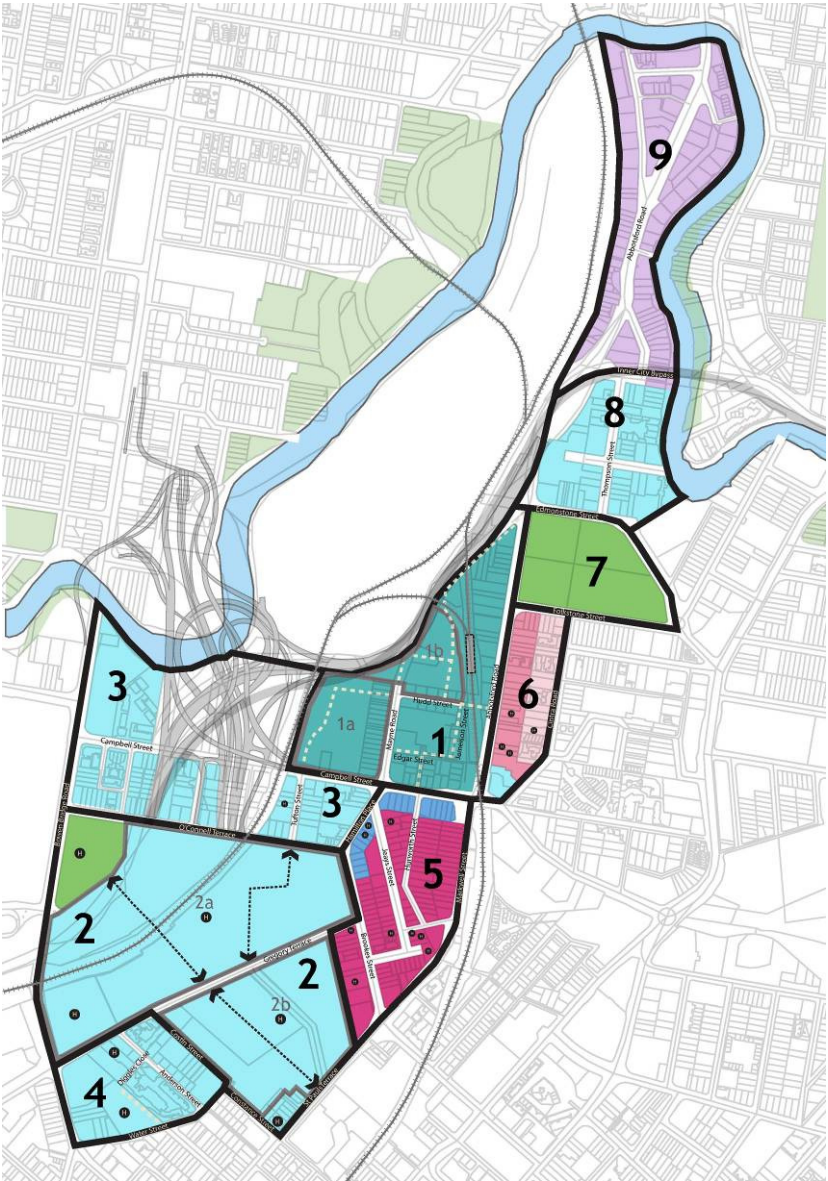
Zones

- Mixed Use Centre Zone
- Mixed Use Zone
- Mixed Use Residential Zone
- Residential Very High Intensity Zone
- Residential High Intensity Zone
- Residential Medium Intensity Zone
- Civic and Open Space Zone
- Medium Impact Employment Zone

Other Elements

- Desired Road Connections
- Precinct Boundary
- Sub-precinct Boundary
- Desired Pedestrian Connections
- Road Infrastructure
- Heritage Place (refer to Heritage Map)

MAP 7: Zoning and Precinct Plan



2. Precincts

Precinct 1: Bowen Hills Heart



(a) Precinct Intent

Precinct 1 is the symbolic 'heart' of Bowen Hills. It will be a vibrant centre containing the highest intensity and greatest concentration of retail, commercial and residential activities. It will have a city centre character with streets lined by taller buildings close to the street alignment.

Development will address streets and public spaces and deliver retail and other uses such as cafes and restaurants at ground level. This will contribute to an active public realm both day and night.

Public spaces provide the centre with opportunities to play and display. These spaces are clustered around the important gateway formed at the corner of Hudd and Abbotsford Road, where a number of taller buildings provide a landmark for the gateway and frame long distance views north and south.

The precinct will accommodate a new local road network and deliver new pedestrian routes through both civic spaces and along urban streets.

Hudd Street and Mayne Road will form major activity spines and become the focus of retail shopping and social life. Small-scale shops, food premises and businesses will line these

streets and help to activate the precinct day and night

Rail and bus services will access the area and provide an intermodal transport interchange.

Within this precinct walking and cycling movements will be given priority while private vehicle movements will be given the lowest level of priority.

Buildings will span across the railway corridor creating opportunities for additional development, public plazas and a new access to Bowen Hills Railway Station.

A major new civic plaza to the south of the intersection of Hudd Street and Abbotsford Road will deliver a multi-purpose community and cultural hub providing space for social interaction, community and group activities, information, art and cultural activities and events.

Precinct 1 will demonstrate the principle of transit oriented development and enable reduced rates of on-site car parking.

While the precinct is establishing and the Bowen Hills Railway Station is being up-graded, a strategy will be implemented that responds to market demand by providing additional car parking for the precinct in the short term.

(b) Precinct Outcomes

- Buildings within the precinct will deliver transit oriented development outcome by accommodate significant scale and incorporating a mix of commercial, residential and civic functions focused on the Bowen Hills Railway Station and new bus facility.
- Development will deliver continuous active street edges which have a strong relationship with the street and incorporate high quality design based on sub-tropical design principles.
- Hudd Street will be widened on the southern alignment, extended through to Abbotsford Road and developed as a new 'main street'. It will become one of the most important public streets within Bowen Hills due to its proximity to the Bowen Hills Railway Station and new bus facility and the range and intensity of adjacent uses. It will be an attractive tree lined avenue with generous footpaths to optimize the area available for commercial and pedestrian activity to spill out into the street.
- Hudd Street will accommodate four lanes of vehicle traffic with two way vehicle movement, a cycle way with median buffer, on-street parking outside of peak traffic periods and bio-retention planting areas.
- Jamieson and Edgar Streets will be realigned and remodelled to create an attractive and pedestrian friendly space through which vehicles are likely to pass but where vehicle speeds will be kept low. A road surface that is flush with the adjacent pavements allows for the seamless flow of pedestrians across the street and the inclusion of trees in tree pits maximizes the volume of street area available for outdoor commercial use and pedestrian enjoyment.
- Edgar Street will be extended through to Mayne Road.
- Development will address Abbotsford Road and the residential area to the east and enhance the awareness and attractiveness of and pedestrian and cycle access to Bowen Hills Railway Station and the new bus facility.
- The design of the new civic plaza will need to consider noise impacts from Campbell Street and Abbotsford Road traffic, as well as minimise noise impacts from the plaza on surrounding residents and businesses. Buildings in proximity to the plaza will need to be designed to minimise exposure to noise from the space.

(i) Preferred Land Uses

The preferred land uses for Precinct 1 are-

- Business
- Child Care Centre
- Community Facility
- Educational Establishment
- Food Premises – where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Indoor Sport, Recreation and Entertainment
- Market
- Multiple Residential
- Other Residential
- Service Industry -not exceeding 250m² of GFA per tenancy
- Shop - where located at ground level and not exceeding 250m² of GFA per tenancy

(c) Sub-precinct 1a

(i) Sub-precinct 1a - Principles

Sub-precinct 1a is intended to accommodate a range of activities including office development,

a sub-regional shopping centre, residential towers and new civic/public open space.

Development within the precinct is to contribute to improved permeability and support enhancement of the local road network.

Development of this large site is to result in a collection of buildings and a series of intimate civic spaces, rather than a single complex.

Residential development within the precinct is to be located and designed to minimise impacts from surrounding uses and infrastructure and deliver and maintain reasonable levels of amenity.

Given the uses intended for this sub-precinct, car parking rates are expected to be slightly higher than those elsewhere in the precinct. However, development within the sub-precinct must still be designed to maximise access to public transport and deliver pedestrian friendly street environments.

(ii) Sub-precinct 1a - Outcomes

- Sub-precinct 1a is to deliver the necessary large floor plate retail uses such as supermarkets, department and discount department store for residents, the workforce and visitors to the UDA. The preferred retail floor space mix within the Sub-precinct is two (2) full-line

supermarkets, a Discount Department Store, a Department Store, several mini-majors, food court and other food and non-food specialty floor space.

- Large floor plate retail is to be sleeved by small-scale (i.e. less than 250m²) shops, food premises and business to ensure activity and visual interest on streets and to civic and public open space.
- The Sub-precinct must accommodate a 1.6 metre widening of Mayne Road which will provide for 4 lanes of vehicular traffic, two-way vehicle movement, a shared street and cycle way with on-street parking allowed during outside of peak traffic periods.
- Mayne Road will also deliver generous footpaths with planting in space saving tree pits to ensure that every opportunity for commercial and pedestrian activity to spill out into the street is maximized.
- Development is to contribute to the establishment of Mayne Road as a main activity spine, activated at the ground floor level by small-scale businesses and shop tenancies that encourage visual interest (e.g. galleries) and provide a high level of pedestrian and cycle access and connectivity to adjoining areas.
- Development is to provide for a new road through the site linking Hudd Street and

Mayne Road through to O'Connell Terrace, via Tufton Street. This road will be the principle means of access into the Bowen Hills Heart from the area south of Campbell Street and will need to accommodate four lanes of vehicle traffic and two way vehicle movement with a dedicated cycle way, enhanced pedestrian footpath widths and on-street parking outside of peak traffic periods.

- On the site's western boundary, development may need to be setback from the existing rail corridor to protect future rail requirements.
- Building heights in the Sub-precinct are expected to range from 12 – 18 storeys.
- Footprints for residential towers are to be no greater than 1,200m².
- Commercial and residential buildings need to incorporate awning over entries.
- Car parking should be delivered within building footprint or under streets as needed.

(iii) Sub-precinct 1a - Preferred Land Uses

The preferred uses for Sub-precinct 1a are -

- Business
- Child Care Centre

- Community Facility
- Food Premises
- Home Based Business
- Indoor Sport, Recreation and Entertainment
- Multiple Residential
- Other Residential
- Service Industry
- Shop
- Shopping centre - up to 40,000m² of floor space and where sleeved to any street, civic or public open space with small-scale business, food premises and shops.

(d) Sub-precinct 1b

(i) Sub-precinct 1b - Principles

Sub-precinct 1b) is to be developed as a mixed-use development with a significant employment focus.

To ensure vibrancy, extended daytime and night-time activity and enable development to deliver the densities to support public transport, a residential component to the mixed-use development is required.

The integration of residential and non-residential uses will require careful location and

design to deliver and maintain reasonable levels of amenity.

Development within the precinct must contribute to improved permeability and support enhancement of the local road network.

(ii) Sub-precinct 1b - Outcomes

- Development must provide for a new local street through the site linking Abbotsford Road at Edmondstone Street through to Hudd Street and a new bus facility.
- The new bus facility is contemplated in the vicinity of Hudd Street and the southern access to Bowen Hills Railway Station to facilitate convenient rail/bus interchange.
- The new bus facility must be designed to accommodate access by bus only, provide for four lanes of bus traffic and two way bus movement, be fenced on curbs to stop unsafe pedestrian crossing and provide covered pedestrian areas with seating and informational signage.
- The bus facility must demonstrate best practice Crime Prevention Through Environmental Design (CPTED) principles. For example the frontages should be activated for pedestrians by incorporating retail, restaurants/cafes and other pedestrian-activating uses (such as banks,

community facilities) on the ground floor level.

- Development of this precinct must result in a collection of diverse buildings and civic spaces with a strong urban character.
- Development within the Sub-precinct must contribute to the development of Hudd Street as a 'main street'.
- Hudd Street and the frontage to the transit facility must be activated for pedestrians by incorporating retail, restaurants/cafes and other pedestrian-activating uses (e.g. banks, community facilities, galleries) on the ground floor level.

- Multiple Residential
- Other Residential
- Service Industry -not exceeding 250m² of GFA per tenancy
- Shop - where located at ground level and not exceeding 250m² of GFA per tenancy

(iii) Sub-precinct 1b - Preferred Land Uses


The preferred uses in Sub-precinct 1b are -

- Business
- Child Care Centre
- Community Facility
- Educational Establishment
- Food Premises – where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Indoor Sport, Recreation and Entertainment

Precinct 1 Bowen Hills Heart - Level of Assessment Table

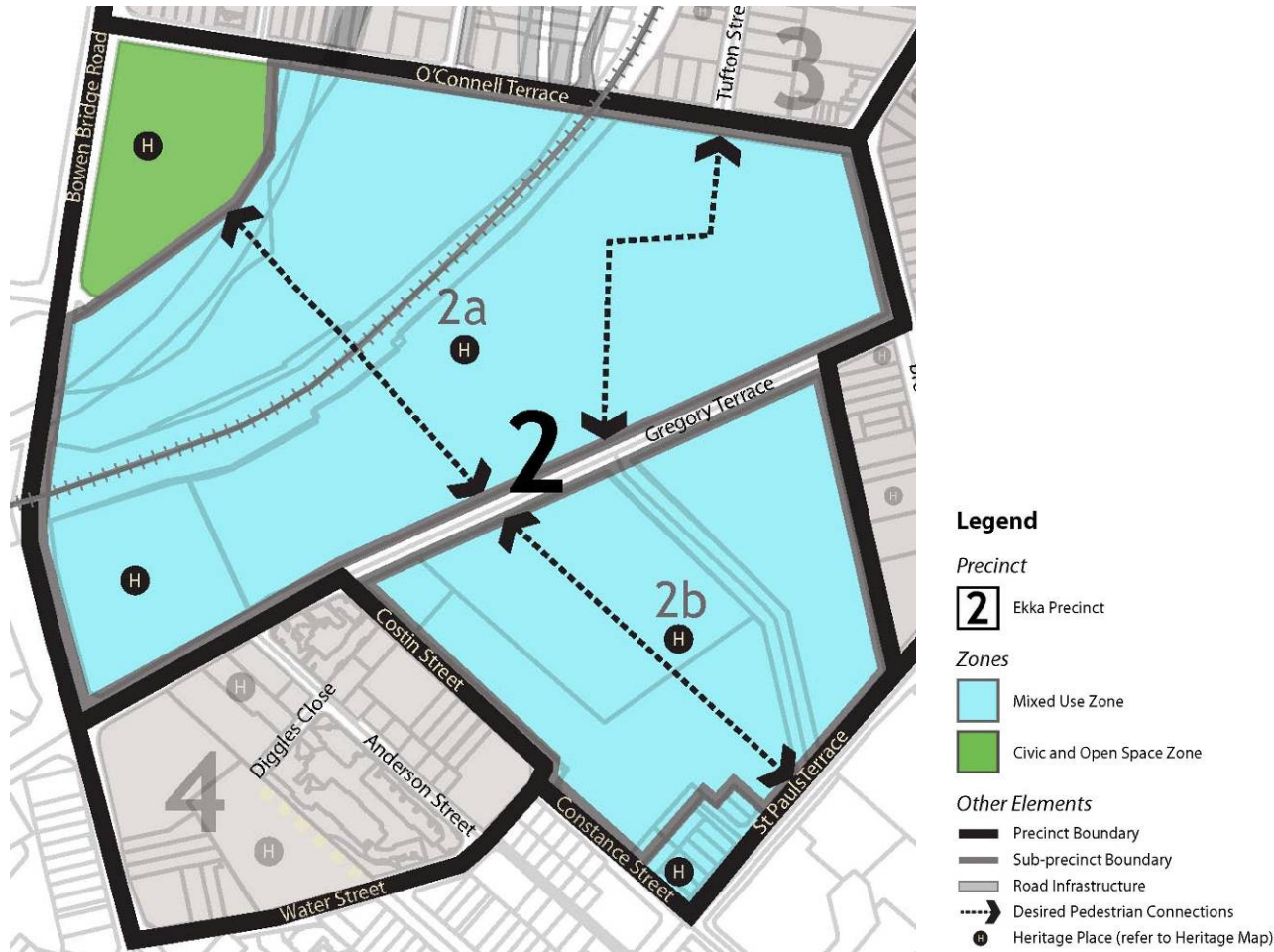
Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
In a sub-precinct			
All development specified as exempt development in a sub-precinct Plan All development specified in Schedule 1	All development specified as self-assessable development in a sub-precinct plan	All Development specified as permissible development in a sub-precinct plan Reconfiguring a lot other than in Schedule 1	All development not specified as exempt, self-assessable or permissible development in a sub-precinct plan
Out-side a sub-precinct			
All development specified in Schedule 1 Any permissible material change of use not involving building work Material change of use for: <ul style="list-style-type: none">Display Dwelling & Sales OfficeHome Based Business	Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i>	All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i> Reconfiguring a lot other than in Schedule 1 All material change of use not specified in Column 1, Column 2 or Column 3B	Material change of use for: <ul style="list-style-type: none">Extractive IndustryGeneral IndustryHeavy IndustryHouseRelocatable Home and Caravan Park

(e) Development Intensity and Built Form

		
Maximum plot ratio		8.0
Minimum site area		1,500m ²
Maximum building height	Within Sub-precinct 1a	Up to 18 storeys
	Elsewhere in the precinct	Up to 24 storeys with 30 storey landmark buildings
Maximum building bulk	Within Sub-precinct 1a	1200m ² footprints for residential towers
	Elsewhere in the precinct	2000m ² footprints above level 6
Frontage setbacks	Ground level	0 - 6 metres with continuous awnings over footpaths
	Levels 2- 6	0 - 3 metres
	Above level 6	0 - 6 metres

Minimum side boundary setbacks	Up to level 4	0 metres
	Levels 5 & 6	3 metres
	Level 7 and above	18 metres to adjacent towers
Minimum rear boundary setbacks	Up to level 4	0 metres
	Levels 5 & 6	9 metres
	Level 7 and above	18 metres to adjacent towers
Car parking configuration	Within Sub-precinct 1a	Within building footprint or under streets as needed
	Elsewhere in the precinct	Within building footprint
Car parking ratio	For Residential	An average of 1 space + 0.25 visitor spaces per dwelling
	For Business	A maximum of 1 space per 100m ² of floor space
	For Shopping Centre	A maximum of 1 space per 50m ² of floor space
	For all other uses	A maximum of 1 space per 200m ² of floor space

Precinct 2: Ekka Precinct



(a) Precinct Intent

The Ekka Precinct encompasses the RNA Showgrounds with its warehouse style show pavilions and exhibition show-ring as well as the former Queensland Museum, Bowen Park on the corner of O'Connell Terrace and Bowen Bridge Road and the Jubilee Hotel and adjacent restaurant.

A significant number of heritage properties exist within the precinct including the former Queensland Museum, early show pavilions, the exhibition show-ring grandstands and other RNA related infrastructure.

It is intended that a significant portion of the precinct will continue to accommodate the RNA Showgrounds and the associated showground activities. While continuing to be a venue for major events, it is acknowledged that the RNA Showgrounds will benefit from a program of redevelopment and renewal that will see extensive mixed use activities established.

Redevelopment on the site is intended to act as a connector between the Royal Brisbane Hospital (RBH) and the UDA Heart and the RBH and Fortitude Valley.

Redevelopment will also help to activate the showgrounds year round and contribute to the creation of vibrant precincts that have a

positive interface with and enliven perimeter streets.

Bowen Park is to be retained as a key open space area.

A new pedestrian link is contemplated between the Royal Brisbane and Women's Hospital, the hospital busway station, O'Connell Terrace and Bowen Park.

This precinct contains the Jubilee Hotel and is adjacent to Fortitude Valley which are recognised as important entertainment hubs. New development within this precinct must balance the needs of these hubs as entertainment and live music venue with the needs of new residents and other commercial operators

(b) Precinct Outcomes

- Development will need to take account of the precinct's heritage character.
- Development adjoining Bowen Park must respect the park's high heritage value and enhance its amenity and safety.
- To improve safety within and around Bowen Park, development adjoining the park must overlook the area providing activation and surveillance and promoting pedestrian movement along this edge.

- Pedestrian and cycle connectivity through the showgrounds is required to enhance the permeability of the precinct.
- Development around the Jubilee Hotel and adjacent to the Valley must be located and designed to deliver and maintain reasonable levels of amenity. In particular, new residential development must incorporate high levels of noise insulation to reduce the transmission of low frequency bass noise into bedrooms.

(c) Preferred Land Uses

The preferred uses in Precinct 2 are -

- Business
- Food Premises – where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Indoor Sport, Recreation and Entertainment
- Multiple Residential
- Other Residential
- Service Industry not exceeding 250m² of GFA per tenancy
- Shop - where located at ground level and not exceeding 250m² of GFA per tenancy

(d) Sub-precinct 2a

(i) Sub-precinct 2a - Principles

While continuing to accommodate the RNA Showgrounds and the associated showground activities, Sub-precinct 2a is also intended to incorporate new business development addressing O'Connell Terrace and Bowen Park.

This Sub-precinct offers significant opportunity for growth of the hospital, educational and research sectors and medical / allied health services along O'Connell Terrace. Hotel or short-term accommodation uses would also be permitted within this precinct to enliven and provide passive surveillance of O'Connell Terrace.

O'Connell Terrace is the important east-west bus connection in the urban development area and the only pedestrian route between Bowen Hills Railway Station and the Royal Brisbane and Women's Hospital.

Small-scale shops, fast food and business, will serve the needs of the local workforce and visitors to the area and activate O'Connell Terrace. A regional or sub-regional shopping centre would not be supported in the sub-precinct.

(ii) Sub-precinct 2a - Outcomes

- A 0.4 - 4.4 metre road widening is required along the southern alignment of O'Connell Terrace.
- Development along O'Connell Terrace must include uses and streetscape treatment that improves pedestrian and cyclist amenity and safety.
- Buildings along O'Connell Terrace must be built to their front alignments to define streets and public places.
- Building facades must contain well-detailed and articulated access points.
- It is expected that the existing Industrial Pavilion will be replaced with a new exhibition centre, with a hotel constructed on top of the new building.
- The existing walls to Gregory Terrace must be retained.
- Development must create a positive visual and functional relationship with the adjoining Old Museum site.
- Any development adjoining Bowen Park must respect the park's high heritage value and enhance its amenity and safety.
- Development within this precinct should facilitate safe pedestrian and cycle movement through the Showgrounds site

from Gregory Terrace to O'Connell Terrace.

- Development may need to be setback from the existing rail corridor to protect future rail requirements and a busway extension to Fortitude Valley.
- The general height of development within this Sub-precinct is 8 storeys with 12 storey landmark buildings.

(iii) Sub-precinct 2a - Preferred Land Uses

The preferred uses in Sub-precinct 2a are-

- Business
- Educational Establishment
- Food Premises – where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Hospital
- Multiple Residential
- Other Residential
- Research and Technology Facility
- Service Industry
- Shop - where located at ground level and not exceeding 250m² of GFA per tenancy
- Service Industry

- RNA Show activities

(e) Sub-precinct 2b

(i) Sub-precinct 2b - Principles

While continuing to accommodate the RNA Showgrounds and the associated showground activities, Sub-precinct 2b is also intended to be developed for residential and commercial development.

There is opportunity within the sub-precinct for local convenience retail (approximately 5,000 – 7,000m² of floor space) and small-scale shops, fast food premises and business. A regional or sub-regional shopping centre would not be supported in the sub-precinct.

Consideration of other non-core retail uses such as retail showrooms and fresh produce markets would be considered within this sub-precinct.

(ii) Sub-precinct 2b - Outcomes

- Development in the precinct must maintain the presence, legibility and sense of entry to the Showgrounds.
- Development along Exhibition Street must address both Exhibition Street and the Showgrounds, enhance the local streetscape and take into consideration

views which can be gained from surrounding sites and buildings.

- Development along St Pauls Terrace must address St Pauls Terrace and the Showgrounds and take into consideration views which can be gained from surrounding sites and buildings.
- The general height of development within this Sub-precinct is 8 -16 storeys.
- Development within this precinct should facilitate a high order pedestrian and cycling connection from Gregory Terrace through to the Green Square development and on to Fortitude Valley.

- Shop – where located at ground level and not exceeding 250m² of GFA per tenancy
- Shopping centre – not exceeding 7,000m² of floor space
- RNA Show activities

(iii) Sub-precinct 2b - Preferred Land Uses

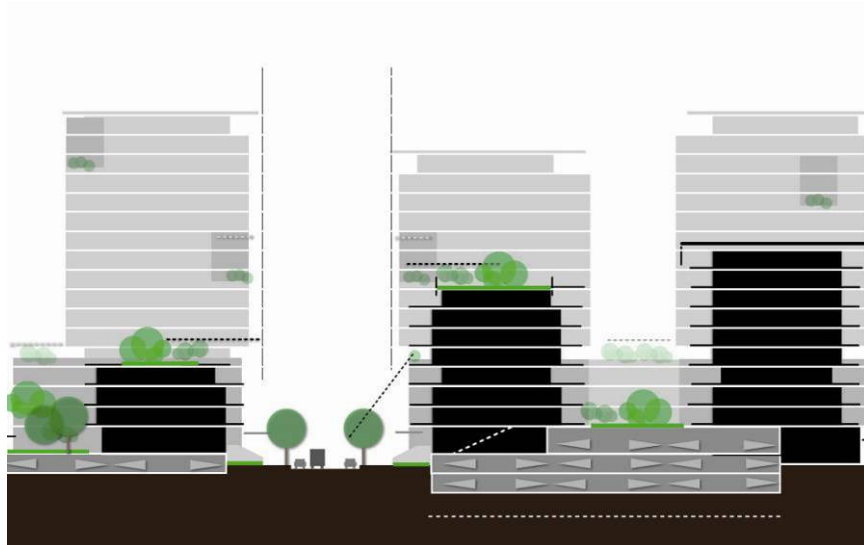
The preferred uses in Sub-precinct 2b are-

- Business
- Child Care Centre
- Educational Establishment
- Food Premises – where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Market
- Multiple Residential
- Other Residential

Precinct 2 Ekka Precinct - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
In a sub-precinct			
All development specified as exempt development in a sub-precinct Plan All development specified in Schedule 1	All development specified as self-assessable development in a sub-precinct plan	All Development specified as permissible development in a sub-precinct plan Reconfiguring a lot other than in Schedule 1	All development not specified as exempt, self-assessable or permissible development in a sub-precinct plan
Out-side a sub-precinct			
All development specified in Schedule 1 Any permissible material change of use not involving building work Material change of use for: <ul style="list-style-type: none">Display Dwelling & Sales OfficeHome Based Business	Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i>	All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i> Reconfiguring a lot other than in Schedule 1 All material change of use not specified in Column 1, Column 2 or Column 3B	Material change of use for: <ul style="list-style-type: none">Extractive IndustryGeneral IndustryHeavy IndustryHouseRelocatable Home and Caravan Park

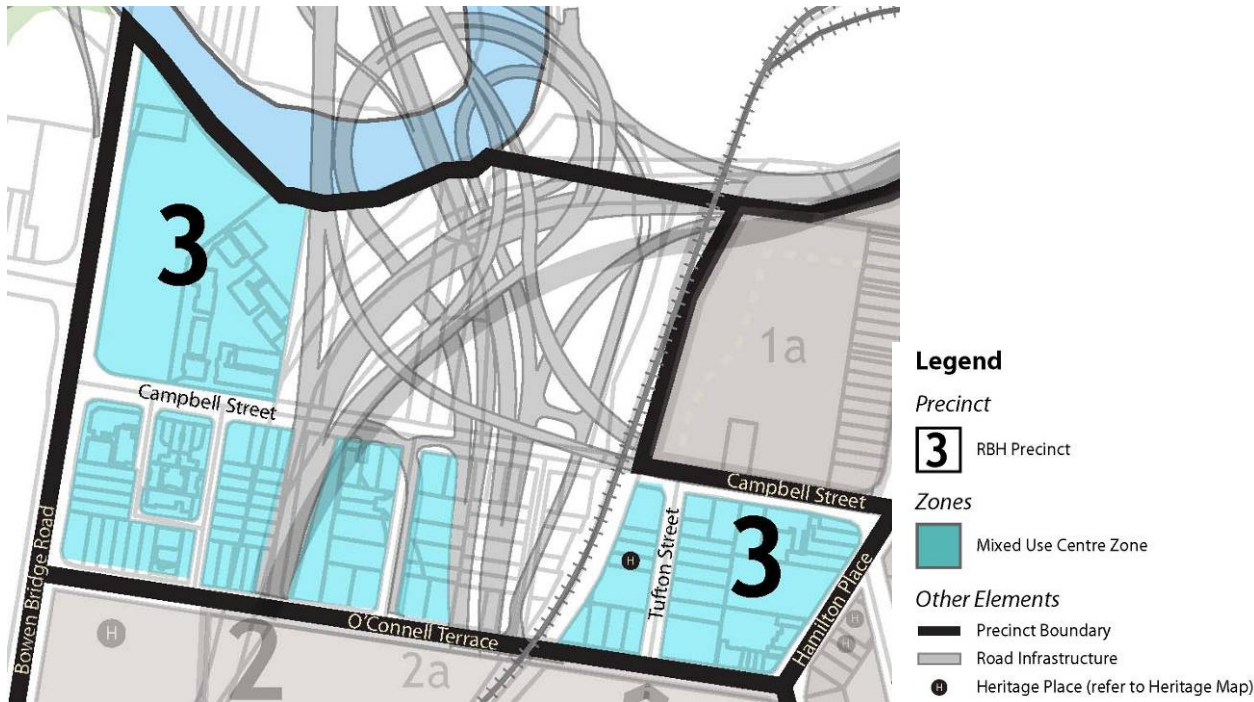
(f) Development Intensity and Built Form Relationship



Maximum plot ratio		4.0
Maximum building height		Up to 12 storeys with 16 storey landmark buildings
Frontage setbacks	Ground level	0 - 3 metres with continuous awnings over footpaths
	Levels 2- 6	0 - 3 metres
	Above level 6	0 - 6 metres
Minimum side boundary setbacks	Up to level 4	3 metres
	Levels 5 & 6	3 metre
	Level 7 and above	18 metres to adjacent towers

Minimum rear boundary setbacks	Up to level 4	6 metres
	Levels 5 & 6	9 metres
	Above level 6	18 metres to adjacent towers
Car parking configuration	Integrated within development in basements and at the rear if street facing uses	
Car parking ratios	For Business and Shop	A maximum of 1 space per 100m ² of floor space
	For Shopping Centre and market	A maximum of 1 space per 50m ² of floor space
	For Residential	On average - 1 space per dwelling (including visitor parking)
	For all other uses	as per the planning scheme for the local government for the area

Precinct 3: RBH Precinct



(a) Precinct Intent

The intent of this precinct is to provide a mixture of residential and commercial developments while delivering a range of hospital support activities including short stay and step-down accommodation, medical research and other specialist medical services.

The Precinct forms the beginning of a gateway for both the hospital from the north and the Bowen Hills Heart from the west.

The Royal Brisbane Hospital has indicated a desire to deliver a multi-level car park in the precinct, providing for staff and visitors to the hospital.

(b) Precinct Outcomes

- Residential development must deliver and maintain reasonable levels of noise amenity and air quality while accommodating the principles of sub-tropical design.
- Built form and landscape treatment on the corner of O'Connell Terrace and Bowen Bridge Road are to reinforce the precincts role as the western gateway to Bowen Hills Heart.
- Commercial and residential buildings need to incorporate awning over entries.

- Car parking that is ancillary to a use should be delivered within building footprint or under streets as needed.
- Development for a multi-level car park must be sleeved by uses which activate streets.
- Buildings along Bowen Bridge Road and O'Connell Terrace are to be built to their front alignments to define streets and public places. Facades are to contain well-detailed and articulated access points and awnings are to be located at key entry points.
- Service Industry
- Visitor Accommodation

(c) Preferred Land Uses

- Business
- Child Care Centre
- Educational Establishment
- Hospital
- Food Premises
- Indoor Sport, Recreation and Entertainment
- Multiple Residential
- Other Residential
- Research and Technology Facility
- Shop - where located at ground level and not exceeding 250m² of GFA per tenancy

Precinct 3 RBH Precinct - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
All development specified in Schedule 1 Any permissible material change of use not involving building work Material change of use for: <ul style="list-style-type: none"> • Display Dwelling & Sales Office • Home Based Business 	Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i>	All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i> Reconfiguring a lot other than in Schedule 1 All material change of use not specified in Column 1, Column 2 or Column 3B	Material change of use for: <ul style="list-style-type: none"> • Extractive Industry • General Industry • Heavy Industry • House

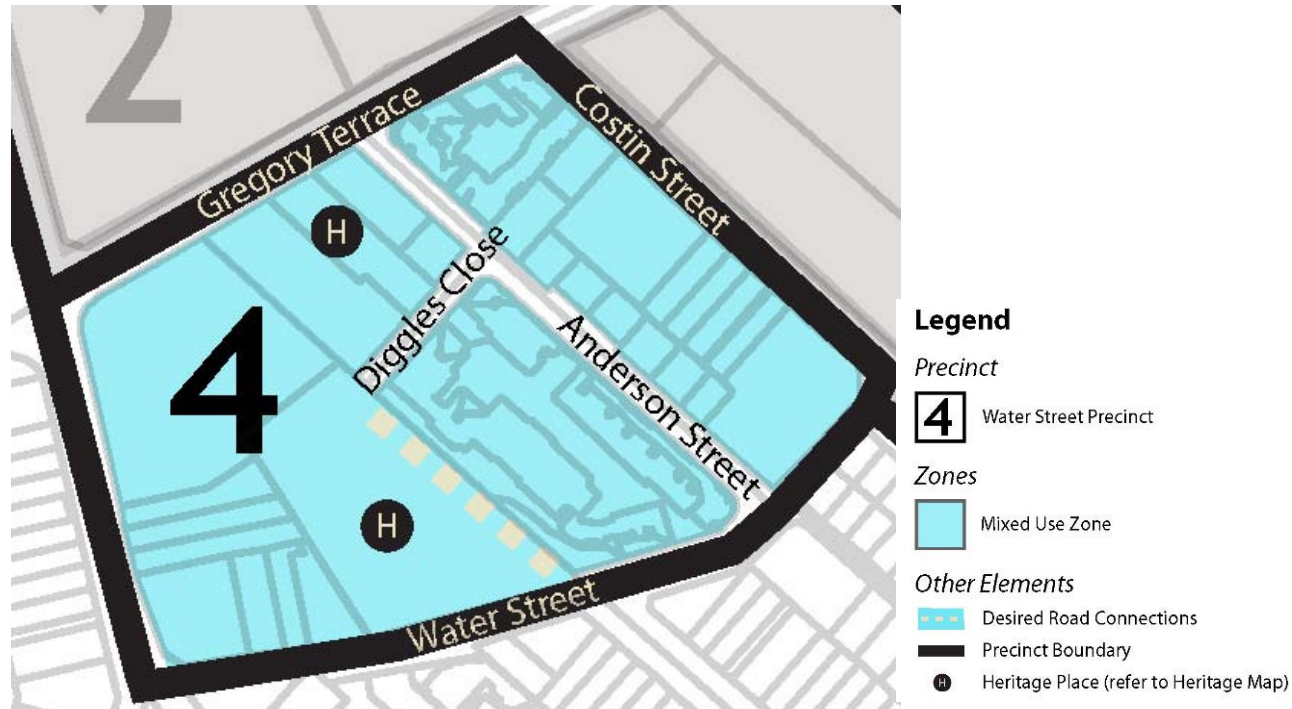
(d) Development Intensity and Built Form Relationship



Maximum plot ratio		3.5
Maximum building height		8 storeys with 12 storey landmark buildings
Frontage setbacks	Ground level	0 - 3 metres with continuous awnings to the front of non-residential buildings
	Levels 2- 6	0 - 3 metres
	Above level 6	3 - 6 metres
Minimum side boundary setbacks	Up to level-4	0 metres
	Levels 5 & 6	3 metres
	Level 7 and above	6 metres

Minimum rear boundary setbacks	Up to level-4	6 metres
	Levels 5 & 6	9 metres
	Level 7 and above	9 metres (<i>18 metres to adjacent towers</i>)
Car parking	Configuration	Integrated within development in basements and at the rear of street facing uses
Car parking ratios	For Office	A maximum of 1 space per 100m ² of floor space
	For other business and retail	A maximum of 1 space per 50m ² of floor space
	For Residential	On average - 1 space per dwelling (including visitor parking)
	For all other uses	As per the planning scheme for the local government for the area

Precinct 4: Water Street Precinct



(a) Precinct Intent

Precinct 4 is intended to provide medium intensity, mixed use development with retail and restaurants at ground level and offices and residential above.

This precinct shares a significant interface with the RNA Showgrounds and may integrate with some of the RNA's redevelopment aspirations.

This precinct contains the Tivoli which is recognised as an important entertainment venue. New development within this precinct must balance the needs of the Tivoli as an entertainment and live music venue with the needs of new residents and other commercial operators

(b) Precinct Outcomes

- A new road is required connecting Anderson Street to Water Street.
- On Secondary Active Frontages buildings must be built to their front alignments to define streets and public places. Facades on these frontages are to contain well-detailed and articulated access points and awnings are to be located at key entry points.
- On Tertiary Frontages, buildings must address the street and public realm but may accommodate a wider variety of

- setbacks for courtyards, deep planting area and balconies.
- Car parking must be delivered within building footprint and setback from street alignments.
- Development around the Tivoli must be located and designed to deliver and maintain reasonable levels of amenity. In particular, new residential development must incorporate high levels of noise insulation to reduce the transmission of low frequency bass noise into bedrooms.
- Service Industry not exceeding 250m² of GFA per tenancy

(c) Preferred Land Uses


The preferred uses in the precinct are-

- Business
- Community facilities
- Food Premises where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Indoor Sport, Recreation and Entertainment
- Multiple Residential
- Other Residential
- Shop where located at ground level and not exceeding 250m² of GFA per tenancy

Precinct 4: Precinct 4 Water Street Precinct – Level of Assessment Table

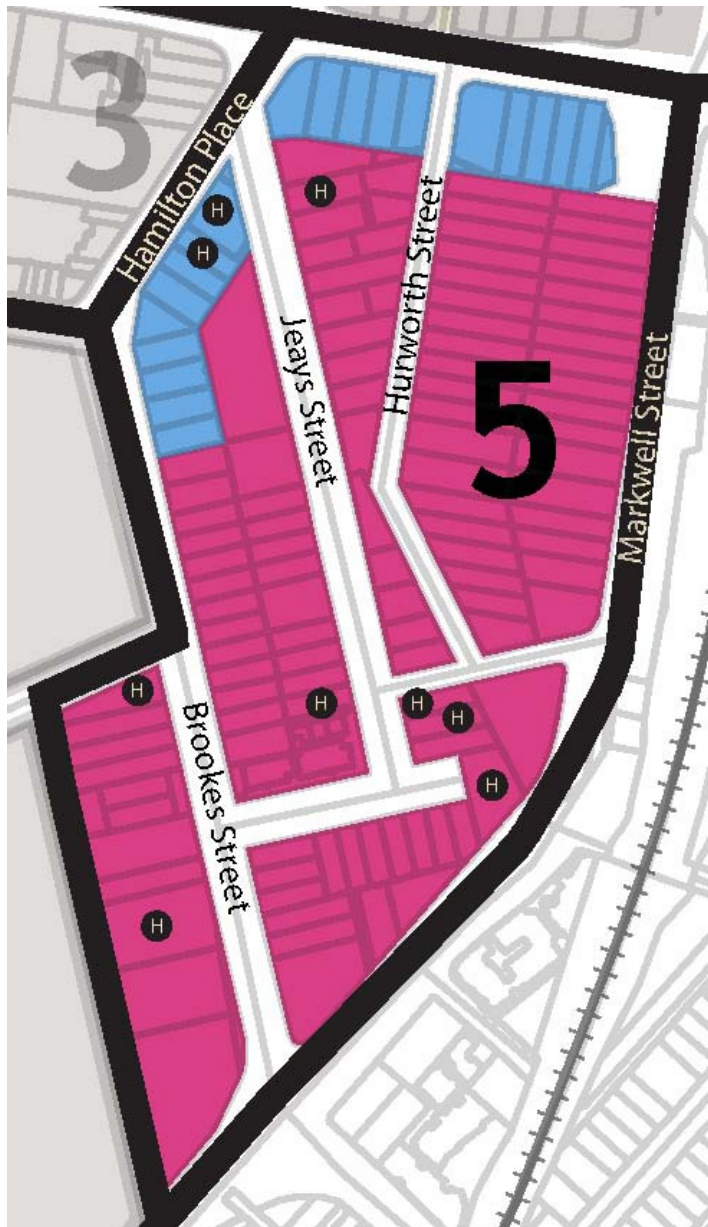
Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
<p>All development specified in Schedule 1</p> <p>Any permissible material change of use not involving building work</p> <p>Material change of use for:</p> <ul style="list-style-type: none"> • Display Dwelling & Sales Office • Home Based Business 	<p>Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i></p>	<p>All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i></p> <p>Reconfiguring a lot other than in Schedule 1</p> <p>All material change of use not specified in Column 1, Column 2 or Column 3B</p>	<p>Material change of use for:</p> <ul style="list-style-type: none"> • Extractive Industry • General Industry • Heavy Industry

(d) Development Intensity and Built Form Relationship

		
Maximum plot ratio	Mixed Use Zone	4.0
Maximum building height		8 storeys with 12 storey landmark buildings
Frontage setbacks	Ground level	0 - 3 metres with continuous awnings to the front of non-residential buildings
	Levels 2- 6	0 - 3 metres
	Above level 6	0 - 6 metres
Minimum side boundary setbacks	Up to level 4	0 metres
	Levels 5 & 6	3 metres
	Level 7 and above	6 metres

Minimum rear boundary setbacks	Up to level 4	6 metres
	Levels 5 & 6	9 metres
	Level 7 and above	9 metres (<i>18 metres to adjacent towers</i>)
Car parking configuration	Integrated within development in basements and at the rear of street facing uses	
Car parking ratios	For Office	A maximum of 1 space per 100m ² of floor space
	For other business and retail uses	A maximum of 1 space per 50m ² of floor space
	For Residential uses	On average - 1 space per dwelling (including visitor parking)
	For all other uses	As per the planning scheme for the local government for the area

Precinct 5: Markwell Street West Precinct

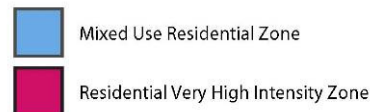


Legend

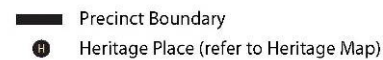
Precinct



Zones



Other Elements



(a) Precinct Intent

This precinct already contains a number of existing housing developments and is intended to deliver further residential development and become a predominantly residential area.

To contribute to the liveability of the precinct, new open space opportunities and pedestrian connections will be created.

Opportunities exist within the precinct for buildings to incorporate non-residential uses on lower levels.

(i) Precinct Outcomes

- Buildings fronting Campbell Street must be built up to or close to the road alignment to define the street. Facades must contain well-detailed and articulated access points and deliver continuous awnings to the street.
- Mixed use development at the intersection of Hamilton Place and Brookes Street opposite O'Connell Terrace must be built up to or close to the road alignment to define the street. Facades must contain well-detailed and articulated access points and deliver continuous awnings to the street.

(b) Preferred Land Uses

The preferred uses in the Mixed Use Zone are-

- Office
- Food Premises - where located at ground level and not exceeding 250m² of GFA per tenancy
- Home Based Business
- Multiple Residential
- Other Residential
- Shop - where located at ground level and not exceeding 250m² of GFA per tenancy
- Service Industry - not exceeding 250m² of GFA per tenancy

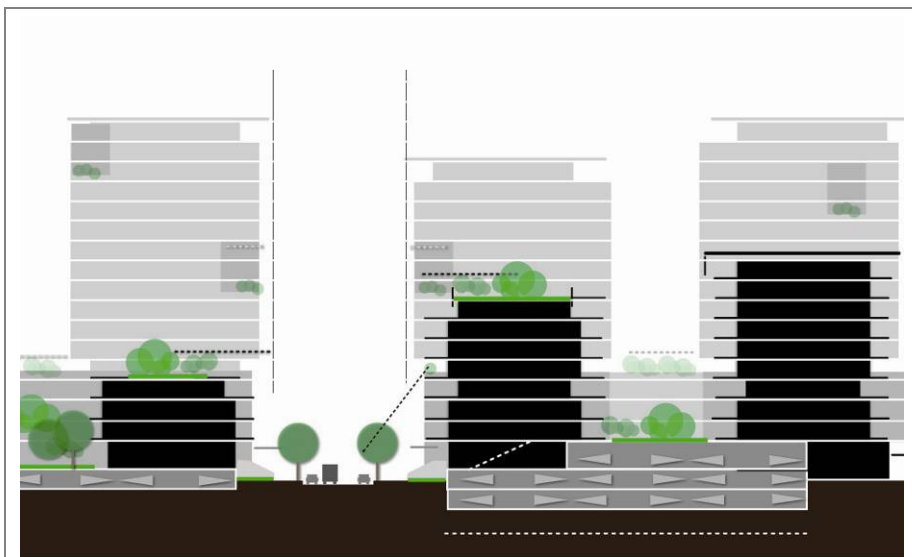
The preferred uses in the Residential High Intensity Zone are -

- Home Based Business
- Multiple Residential
- Other Residential

Precinct 5 Markwell Street West Precinct - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
All development specified in Schedule 1 Any permissible material change of use not involving building work Material change of use for: <ul style="list-style-type: none"> • Display Dwelling & Sales Office • Home Based Business 	Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i>	All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i> Reconfiguring a lot other than in Schedule 1 All material change of use not specified in Column 1, Column 2 or Column 3B	Material change of use for: <ul style="list-style-type: none"> • Extractive Industry • General Industry • Heavy Industry

(c) Development Intensity and Built Form Relationship



In the Residential High Intensity Zone

Maximum plot ratio		3.0
Maximum building height		12 storeys
Frontage setbacks	Ground level	3 - 6 metres with awnings over entrances
	Levels 2- 6	3 - 6 metres
	Level 7 and above	3 - 6 metres
Minimum side boundary setbacks	Up to level-4	0 metres, built to boundaries
	Levels 5 & 6	3 metres
	Level 7 and above	3 metres

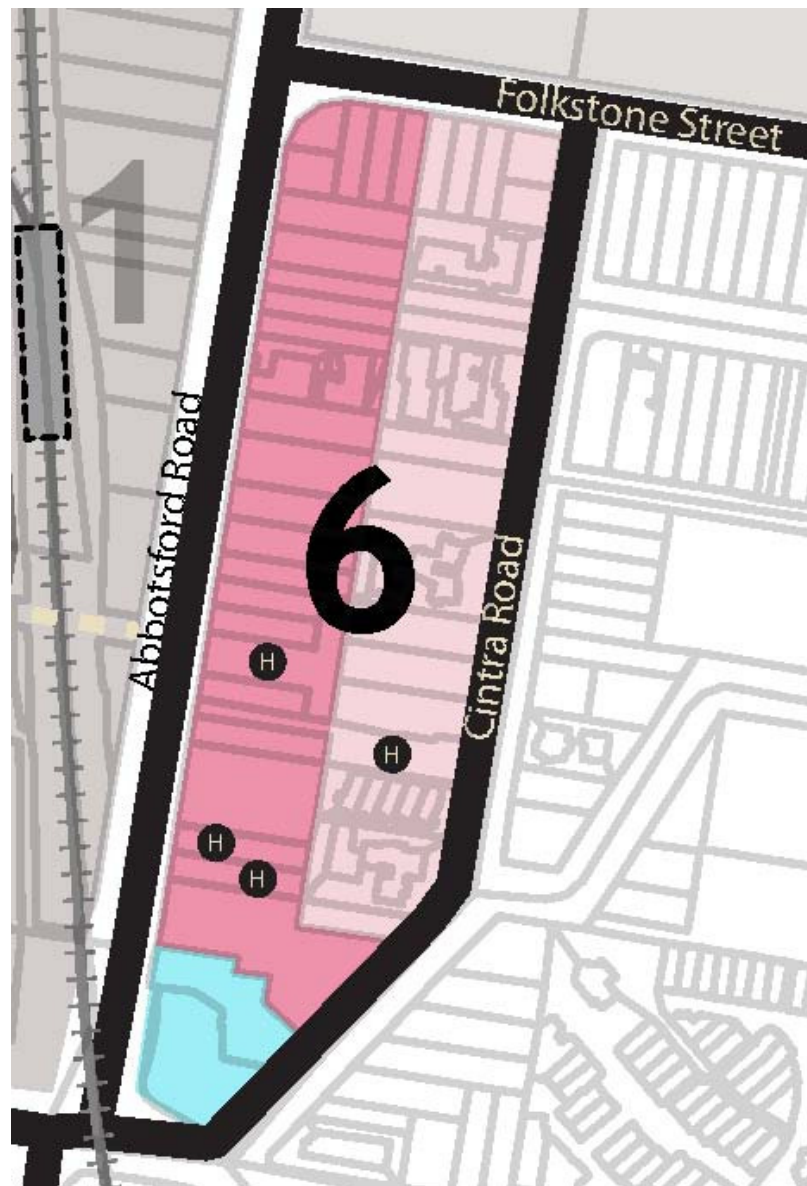
Minimum rear boundary setbacks	Up to level-4	0 metres
	Levels 5 & 6	9 metres
	Level 7 and above	9 metres (18 metres to adjacent towers)
Car parking configuration	Integrated within development in basements and at the rear of street facing uses	
Car parking ratios	For residential	On average - 1 space per dwelling (including visitor parking)
	For all other uses	As per the planning scheme for the local government for the area

In the Mixed Use Residential Zone

Maximum plot ratio		4.0
Maximum building height		12 storeys
Frontage setbacks	Ground level	0 - 3 metres with continuous awnings to the front of buildings
	Levels 2- 6	0 - 3 metres
	Level 7 and above	0 - 3 metres
Minimum side boundary setbacks	Up to level-4	0 metres
	Levels 5 & 6	0 metres
	Level 7 and above	0 metres
Minimum rear boundary setbacks	Up to level-4	6 metres
	Levels 5 & 6	6 metres
	Level 7 and above	9 metres (18 metres to adjacent towers)

Car parking configuration	Basement	
Car parking ratios	For residential	On average - 1 space per dwelling (<i>including visitor parking</i>)
	For office	A maximum of 1 space per 100m ² of GFA
	For shop, food premises & service industry	A maximum of 1 space per 50m ² of GFA
	For all other uses	As per the planning scheme for the local government for the area

Precinct 6: Montpelier Precinct






Legend



Precinct

6 Montpelier Precinct

Zones

 Mixed Use Zone
 Residential High Intensity Zone
 Residential Medium Intensity Zone

Other Elements

 Precinct Boundary
 Heritage Place (refer to Heritage Map)

(a) Precinct Intent

The intent of this precinct is to consolidate and intensify residential activity in medium rise buildings.

The precinct will act as a transitional from the high intensity development of the emerging Bowen Hills UDA Heart to the Montpelier Hill residential uses to the east.

The precinct contains the Twelfth Night Theatre which is a valued use within this precinct.

(b) Precinct Outcomes

- Development along Abbotsford Road must take advantage of the precinct's elevation, topography and relatively lengthy allotments by stepping down the slope.
- Development on the corner of Abbotsford and Montpelier Roads must create a positive visual and functional relationship with the Twelfth Night Theatre.
- Built form and landscape treatment on the corner of Abbotsford and Montpelier Road must reinforce the gateway location of the site.

(c) Preferred Land Uses

The preferred uses in the Mixed Use Zone are-

- Home Based Business
- Multiple Residential
- Office
- Other Residential
- Service Industry - not exceeding 250m2 of GFA per tenancy
- Shop - located at ground level and not exceeding 250m2 of GFA per tenancy

The preferred uses in the Residential Zones are -

- Home Based Business
- Multiple Residential
- Other Residential

Precinct 6: Montpelier Precinct - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
<p>All development specified in Schedule 1</p> <p>Any permissible material change of use not involving building work</p> <p>Material change of use for:</p> <ul style="list-style-type: none"> • Display Dwelling & Sales Office • Home Based Business 	<p>Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i></p>	<p>All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i></p> <p>Reconfiguring a lot other than in Schedule 1</p> <p>All material change of use not specified in Column 1, Column 2 or Column 3B</p>	<p>Material change of use for:</p> <ul style="list-style-type: none"> • Extractive Industry • General Industry • Heavy Industry • In the residential zone: <ul style="list-style-type: none"> ▪ All uses listed under - Industry ▪ All used listed under Retail and Commercial, excluding Home Based Business ▪ Sport, recreation and Entertainment

(d) Development Intensity and Built Form Relationship



Maximum plot ratio	Residential Low Intensity Zone	1.0
	Other Zones	2.0
Maximum building height	Residential Low Intensity Zone	4 storey
	Other Zones	8 storeys
Frontage setbacks	Ground level	3 - 6 metres with continuous awning for retail and awnings over entries for other uses
	Levels 2 and above	3 – 6 metres with residential balconies to 3 metres
Minimum side boundary setbacks	Up to level-4	3 metres
	Levels 5 & above	3 metres

Minimum rear boundary setbacks	Up to level-4	6 metres, deep planting zone
	Levels 5 & above	9 metres
Car parking configuration	Within building footprint in basement and semi-basement	
Car parking ratios	For residential	On average - 1 space per dwelling (<i>including visitor parking</i>)
	For office	A maximum of 1 space per 100m ² of GFA
	For shop, food premises & service industry	A maximum of 1 space per 50m ² of GFA
	For all other uses	As per the planning scheme for the local government for the area

Precinct 7: Perry Park



(a) Precinct Intent

Perry Park is to be retained as a major sport, recreation and green space for Bowen Hills.

(b) Precinct Outcomes

- Development within this precinct should provide an arrival point into the precinct from the UDA heart and railway station.
- Development must consolidate formal sporting facilities within the park and provide enhanced opportunities for more informal recreating facilities and accessible open space.
- Development within this precinct must deliver a high quality pedestrian and cycle linkages from Abbotsford Road.

(c) Preferred Land Uses

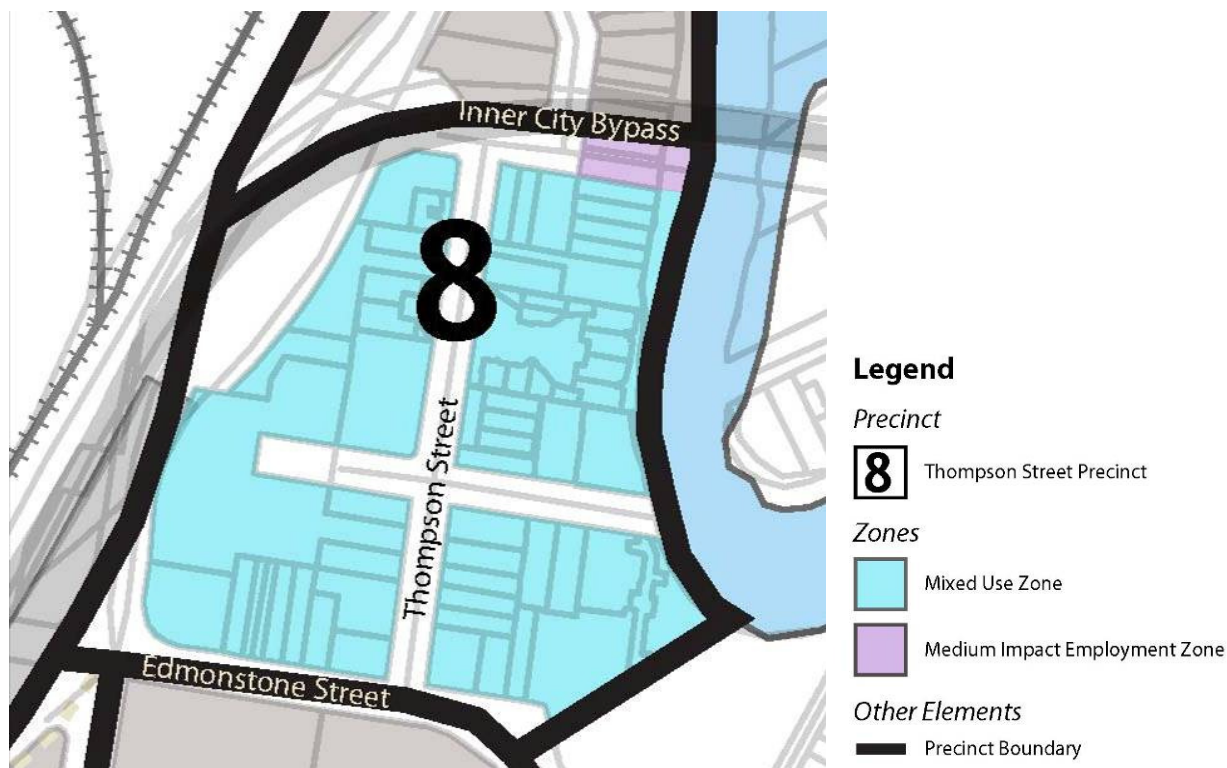
The preferred uses in the Civic and Open Space Zones are -

- Indoor Sport and Recreation
- Outdoor Sport and Recreation

Precinct 7: Perry Park Precinct - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
All development specified in Schedule 1	Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i>	<p>All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i></p> <p>Reconfiguring a lot other than in Schedule 1</p> <p>All material change of use not specified in Column 1, Column 2 or Column 3B</p>	<p>Material change of use for:</p> <ul style="list-style-type: none"> • Industry • Residential

Precinct 8: Thompson Street Precinct



(a) Precinct Intent

This precinct is intended to be a predominantly commercial precinct, providing for showrooms facing street.

Commercial uses are intended to occupy buildings from the ground level with top levels delivering residential development.

Commercial development is expected to capitalize on the precincts strong association with the Bowen Hills UDA Heart.

Residential development is expected to take advantage of the precincts proximity to Perry Park and the open space and waterway amenity of Breakfast Creek.

A new civic space will provide a focal point for this precinct.

(b) Precinct Outcomes

- Buildings must address the street
- Buildings must to be activated at ground level.

(c) Preferred Land Uses

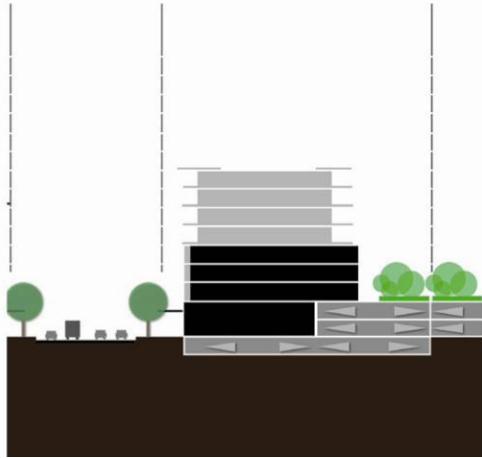
The preferred uses in Precinct 8 are -

- Business
- Home Based Business
- Multiple Residential
- Other Residential
- Service Industry
- Showroom
- Warehouse

Precinct: 8 Thompson Street Precinct (Mixed Use Zone) - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
<p>All development specified in Schedule 1</p> <p>Any permissible material change of use not involving building work</p> <p>Material change of use for:</p> <ul style="list-style-type: none"> • Display Dwelling & Sales Office • Home Based Business 	<p>Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i></p>	<p>All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i></p> <p>Reconfiguring a lot other than in Schedule 1</p> <p>All material change of use not specified in Column 1, Column 2 or Column 3B</p>	<p>Material change of use for:</p> <ul style="list-style-type: none"> • Extractive Industry • General Industry • Heavy Industry

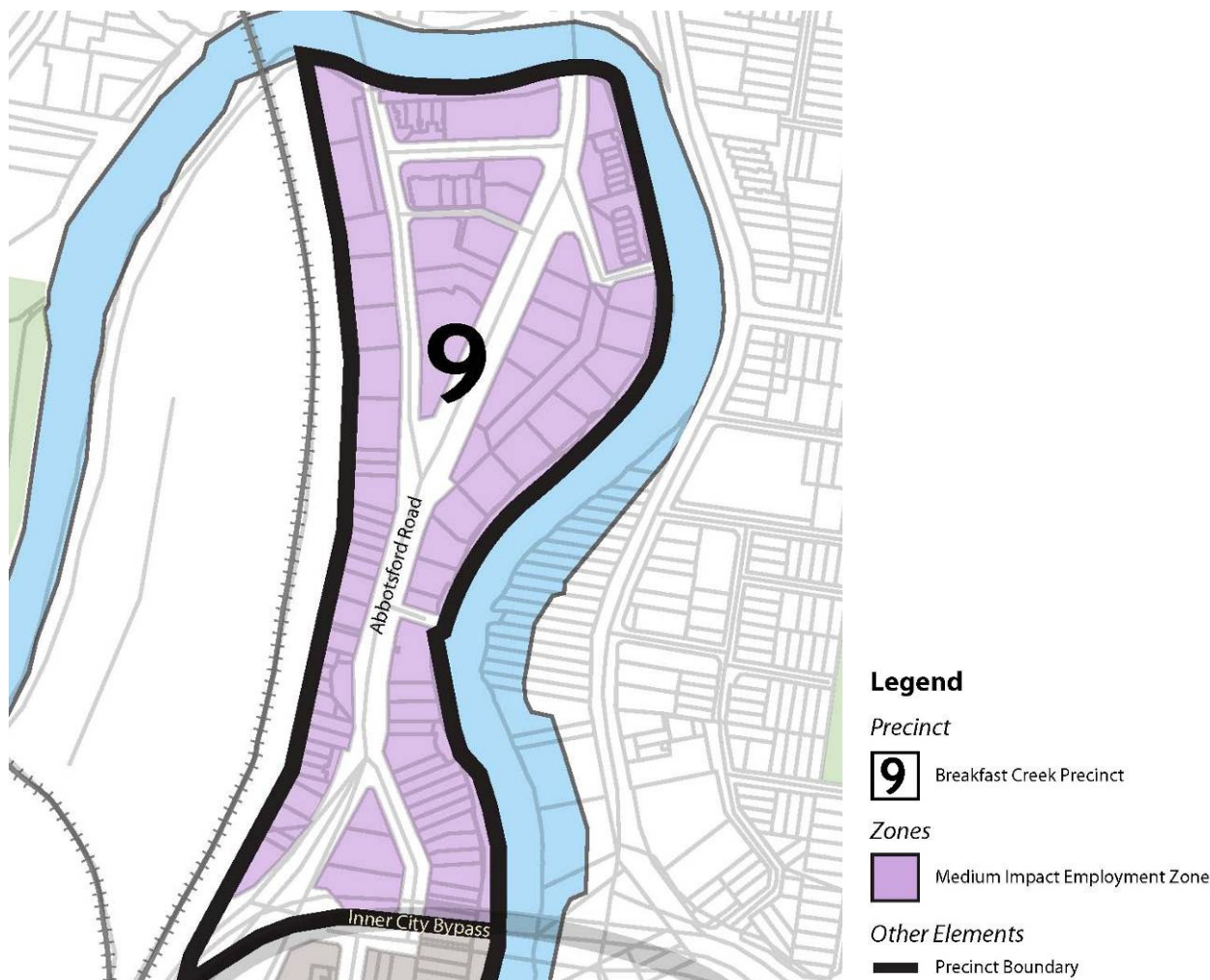
(d) Development Intensity and Built Form Relationship



Maximum plot ratio		3.0 (+ an additional 1.0 for residential)
Maximum building height		8 storeys
Frontage boundary setbacks	Ground level	0 - 3 metres with active frontages and awnings over entrances
	Levels 2 – 6	0 – 3 metres
	Levels 6 and above	3 – 6 metres with balconies to 3 metres
Minimum side boundary setbacks	Up to level-4 storeys	0 metres
	Levels 5 and 6	3 metres
	Level 7 & above	3 metres
	To Breakfast Creek	20 metres

Minimum rear boundary setbacks	Up to level-4 storeys	0 metres
	Levels 5 and 6	6 metres
	Level 7 & above	9 metres
Car parking configuration	Integrated within development in basements and at the rear of street facing uses	
Car parking ratios	For residential	An average of 1 space per dwelling <i>(including visitor parking)</i>
	For business, service industry, showroom and warehouse	A maximum of 1 space per 75m ² of GFA
	For shop & food premises	A maximum of 1 space per 50m ² of GFA
	For all other uses	As per the planning scheme for the local government for the area

Precinct 9: Breakfast Creek Precinct



(a) Precinct Intent

The intent of this precinct in the short term is to retain the industry activities which provide services to the inner City and business support for the activities in nearby areas.

- There is opportunity within the precinct for small scale offices.

Opportunity will be taken to provide for public access along Breakfast Creek as redevelopment occurs.

Longer term, there is the potential to combine this precinct with the Queensland Rail land to the west, possibly providing for mixed use, showrooms and other forms of commercial development.

(b) Precinct Outcomes

- Buildings must address the street
- Development will be predominantly industry with showrooms at ground level, facing the street.

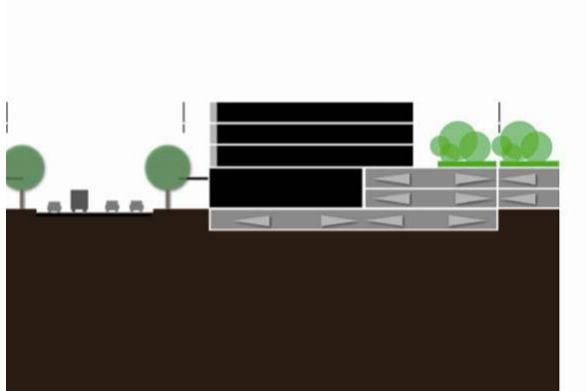
(c) Preferred Land Uses

- Industry - other than intensive
- Offices
- Showroom
- Warehouse

Precinct 9: Breakfast Creek Precinct - Level of Assessment Table

Column 1 Exempt Development	Column 2 UDA Self Assessable Development	Column 3 – UDA Assessable Development	
		Column 3A Permissible development	Column 3B Prohibited development
All development specified in Schedule 1 Any permissible material change of use not involving building work	Environmentally Relevant Activities for which a code of environmental compliance has been made under the <i>Environmental Protection Regulation 1998</i>	All development carried out on or on premises adjoining a registered place as defined under the <i>Queensland Heritage Act 1992</i> Reconfiguring a lot other than in Schedule 1 All material change of use not specified in Column 1, Column 2 or Column 3B	Material change of use for: <ul style="list-style-type: none"> • Home Based Business • House • Multiple Residential • Other Residential • Relocatable Home and Caravan Park

(d) Development Requirements



Maximum plot ratio		1.0
Maximum building height		4 storeys
Front boundary controls		0 – 3 metres with awnings over entrances
Minimum side boundary setbacks		0 metres
Minimum rear boundary controls		6 metres
Car parking configuration		At the rear of street facing uses
Car parking ratios	For industry	A maximum of 1 space for every 50m ² of floor space
	For all other uses	As per the planning scheme for the local government for the area

Infrastructure Plan

1. Infrastructure Funding Principles to Facilitate Redevelopment

Prudent investment in infrastructure is necessary to facilitate the increase in development intensity required to deliver the vision for the UDA.

Contributions towards the delivery of this infrastructure will be shared as the funding of the required infrastructure is not commercially viable for any one developer, owner or government entity due to the fragmentation of land ownership or the overall sizeable costs of some of the infrastructure works.

The use of public funds as the primary source of funding to pay for the necessary infrastructure, resulting in a significant increase in development yield and hence a windfall gain to private land owners, is not considered appropriate.

Consequently, redevelopment of areas within the UDA are not likely to occur unless a specific infrastructure funding package can be developed, which is acceptable to landowners, the industry and government.

The overarching infrastructure funding principles proposed to facilitate redevelopment are -

- (i) No funding is required from BCC or the State Government outside of their normal budget provisions for infrastructure arising from regional requirements;
- (ii) Upfront funding of infrastructure by the ULDA will be undertaken to provide investment confidence in the redevelopment of the area; and
- (iii) The development contribution regime recognises that redevelopment will not occur where-
 - Infrastructure charges are so high that the land value uplift provides no incentive to the land owner to sell for redevelopment; and
 - Uncertainty in relation to yield, approval times and infrastructure costs results in developers unable to price development risk to achieve necessary commercial hurdle rates.

For fairness, landowners that do not want to redevelop above current permitted BCC City Plan densities should not be penalised

2. Financing of Works

2.1. Catalyst Infrastructure

The ULDA will identify key catalyst infrastructure considered necessary to initiate the redevelopment of the UDA such as new or upgraded streets and roads; improved road connections; improved public transport access etc. .

The ULDA will manage the delivery of this infrastructure, which will be funded through a special rate over a specified period, similar in concept to the Suburban Centre Improvement Project (SCIP) of BCC.

It is anticipated that catalyst infrastructure works will be undertaken within the first 5 years of the redevelopment of the UDA.

2.2. Infrastructure improvements

Infrastructure works that will improve the general area, giving confidence to landowners and developers to consider redevelopment, may be constructed through the ULDA and may be funded as a-

- (i) benefited rate over a specified period; similar to the Suburban Centre Improvement Project (SCIP) of BCC; and/or.
- (ii) condition of the development approval.

These infrastructure works will occur over time as the UDA is redeveloped.

2.3. Water and Sewer Infrastructure

Water and sewer infrastructure works that are required by a development will be managed by BCC and funded by an Infrastructure Charge Schedule (ICS) approach.

This infrastructure will be provided over time at the time of developments being undertaken within the UDA.

2.4. Community facilities, transport and affordable housing

Open space, public transport, community facilities and affordable housing funding

requirements to meet the increased development density will be achieved by -

- (i) The standard BCC ICS approach for development intensity less than or equal to the current BCC City Plan provisions; or
- (ii) A UDA specific contribution rate applied to the additional GFA approved in excess of the BCC City Plan provisions. This infrastructure will be provided over time at the time of developments being undertaken within the UDA.

3. Infrastructure Contributions

Charges for infrastructure will be determined and reviewed from time to time and be published in the ULDA's Infrastructure Contributions Framework.

Where special rates and charges are proposed for catalyst infrastructure and infrastructure improvements, consultation with the local community will be undertaken to determine the contribution area and scope and scale of works prior to the introduction of any special rate or charge. This is a similar approach undertaken by the Brisbane City Council for their SCIP initiative.

The principles for determining infrastructure contributions to be included in this framework are -

- (i) BCC Infrastructure Contribution Schedule approach used up to current City Plan GFA;
- (ii) Special ULDA charge (for major infrastructure and affordable housing) applied to extra GFA, over and above City Plan;
- (iii) 'Catalyst' Infrastructure to be debt funded - built up-front by ULDA and funded by a Special Rate; and
- (iv) Special Rate amount to be determined based on works, but will be within the BCC range of Special Rates and Charges.

Proposed Catalyst Infrastructure	
Infrastructure	Description of works
1. Bowen Hills Railway Station	Stage 1 upgrade to improve safety, amenity and visual and physical access from Hudd Street..
2. Hudd Street	Delivery of Hudd Street as a “main” street, through its widening and extension to Abbotsford Road.
3. Abbotsford Road	Street tree planting around Hudd Street intersection.
4. Jamieson Street	Realignment and public realm improvements east to Abbotsford Road and South to Campbell Street.

Proposed Infrastructure Improvements	
Infrastructure	Description of works
Road and street improvements	5. New road west of the railway corridor linking Hudd Street through to Abbotsford Road at Edmondstone Street.
	6. Widening of Mayne Road and public realm improvements.
	7. Widening of O’Connell Terrace and public realm improvements.
	8. Widening of Cambell Street east of Mayne Road through to Abbotsford Road and public realm improvements.
	9. Widening of Tufton Street and public realm improvements.
	10. Extension of Edgar Street and public realm improvements.
	11. Extension of Tufton Street through to the junction of Mayne Road and Hudd Street.
	12. Extension of Diggles Close to connect with Water Street
	13. Public realm improvements to Hazelmount Street.
	14. Public realm improvements to Brookes Street between Gregory and O’Connell Terraces.
	15. Public realm improvements to Hamilton Place.

Proposed Infrastructure Improvements

Infrastructure	Description of works
	16. Public realm improvements to Markwell Street.
	17. Public realm improvements to Abbotsford Road.
	18. Intersection modifications to the junction of Campbell Street and Abbotsford Road / Markwell Street to allow for additional right turn lane when accessing Markwell Street heading south.
	19. Intersection modifications at the junction of Campbell Street, Hamilton Place and Mayne Road.
	20. Intersection modifications at the junction of Abbotsford Road, Edmondstone Street and the new road west of the railway corridor, allowing for a dedicated turn left lane into Abbotsford Road.
	21. Intersection modifications at the junction of Gregory Terrace and Brookes Street by removal of the pedestrian crossing on the southern side of Brookes Street.
	22. Intersection modifications at the junction of O'Connell Terrace, Hamilton Place and Brookes Street to allow for both lanes from O'Connell Terrace to turn right into Brookes Street.
	23. Intersection modifications at the junction of Brookes Street and St Pauls Terrace to allow for two lanes to turn right from Brookes Street into St Pauls Terrace heading south.
	24. Intersection signalisation at the junction of Hudd Street and the new road west of the railway corridor linking through to Abbotsford Road at Edmondstone Street..
	25. Intersection signalisation at the junction of Tufton Street and O'Connell Terrace.
	26. New shared pedestrian and vehicle route linking Gregory and St Pauls Terraces, west of Alexandria Street.

Proposed Water and Sewerage Infrastructure	
Infrastructure	Description of works
Water and sewer	27. Water and sewer networks within the UDA will be upgraded at the time of developments being undertaken.

Proposed Community Facilities, Transport and Affordable Housing	
Infrastructure	Description of works
Community facilities	28. New public plaza linking Mayne Road through to the Tufton Street extension north of Campbell Street
	29. New public plaza south of Hudd Street, west of Abbotsford Road and east of the realigned Jamieson Street (Market Plaza).
	30. Public realm improvements to Perry Park
	31. New public open green space linking Gregory and St Pauls Terraces, west of Alexandria Street
	32. New public open green space in Precinct 3.
	33. New public open space connecting with the existing green space in Precinct 5.
	34. New public open space in Precinct 8
Transport	35. Upgrades to Bowen Hills Railway Station.
	36. New bus station linking to the Bowen Hills Railway Station
Affordable Housing	37. Affordable housing will be provided in accordance with the ULDA's Affordable Housing Strategy.

Implementation Strategy

1. Introduction

As described in earlier sections of the Development Scheme, the purposes of the ULDA Act are to facilitate:

- (i) the availability of land for urban purposes;
- (ii) the provision of a range of housing options to address diverse community needs;
- (iii) the provision of infrastructure for urban purposes;
- (iv) planning principles that give effect to ecological sustainability and best practice urban design; and
- (v) the provision of an ongoing availability of affordable housing options for low to moderate income households.

The mission formulated by the ULDA to achieve the purposes of the Act is to create vibrant inclusive communities and to:

“Create sustainable world class precincts all Queenslanders can be proud of. These outstanding new urban communities will incorporate best practice urban design principles and a range of affordable housing options.”

In achieving that vision, the values the ULDA seek to exhibit in its achievement of that outcome are:

- Bold leadership;
- Collaboration and partnership;
- Creativity and innovation;
- Sustainability; and
- Integrity.

Consequently, the implementation strategy and actions of the ULDA need to address aspects broader than the Act’s purposes and need to address, not only what is to be achieved, but also how it is achieved.

In many aspects, the ULDA Implementation Strategy will be a living document, responding

to circumstances as they arise, learning from the lessons as the UDA’s develop and adopting innovation arising from technological change and innovation from industry.

However, the section following provides a framework, indicating the implementation strategy elements, desired outcomes and planned actions formulated at this time to give effect to the Act’s purposes and the ULDA’s mission.

The key elements determined as essential in the achievement of the ULDA’s mission are indicated below and detailed in the following sections:

- Urban Land Availability for Development
- Housing Options
- Urban Infrastructure Provision
- Ecological Sustainability
- Best Practice Urban Design

However, the ULDA also recognises that there are other aspects to creation of development in the UDA that bear recognition. In particular:

1.1. Leadership

The ULDA has been provided with an Act that allows for a 'blank slate' approach to urban development. This blank slate allows the ULDA to try alternative methods of delivering successful urban development outcomes.

Consequently, the ULDA recognises that while it has the ability to have a direct impact on outcomes within the UDA, it also has a potential to have an indirect outcome by way of demonstration of the impact of alternative approaches.

Consequently, if successful, the processes, provisions or systems put in place may be suitable for adoption by other authorities in the State.

1.2. Place Making

The ULDA recognises that the creation of successful urban spaces starts with establishing a vision for the UDA which is meaningful, respecting the location and site's characteristics and will find acceptance by the wider community, and in particular, the development community so that development occurs. The land use plan and infrastructure strategy provides the main means of achieving good urban spaces.

However, the ULDA recognises that there are other, more subtle aspects that need to be considered to create truly special places, and that do not neatly fit into the following structure, namely:

- The arrangement and type of uses within spaces;
- The role of the community in the development and change of spaces over time; and
- Event management to enliven and activate spaces.

These aspects are not addressed in this section and will be instituted as part of the ULDA's activities as the UDA develops.

2. Urban Land Availability for Development

The Development Scheme, to be successful and achieve the ULDA's aims, needs to lead to development on the ground, rather than be just a planning document. For landowners and the development industry, the development scheme's provisions need to create an environment where commercially viable development projects are fostered.

A measure of this success will be the willingness of private industry to seek to develop sites within the UDA.

Element	Measure	Actions
Urban Land Availability for Development	Development occurs within the UDA	<p>A Development Scheme that:</p> <ul style="list-style-type: none"> includes development requirements that allow a commercial outcome; provide certainty of development potential (uses and yield); responds to changes in market conditions; and allows for alternative design solutions. <p>An Infrastructure Strategy that:</p> <ul style="list-style-type: none"> Ensures necessary infrastructure is co-ordinated and constructed to facilitate development; Does not require development contributions that are so high that land owners have no incentive to redevelop their properties; Has a charging regime that balances upfront costs with payments over time, and recognises the importance of time of payments to the industry; and Has a transparent and easily calculable development contribution schedule. <p>An approval system that:</p> <ul style="list-style-type: none"> Minimises time delay to the developer; Highlights early the level of detail required for a specific development application; Allows for consideration of alternative solutions in an expeditious manner;

Element	Measure	Actions
		<ul style="list-style-type: none"> Allows a development proponent to be provided with a degree of certainty, early in the process that a development proposal will be acceptable; and Provides consistency from the pre-lodgement process, through approval to project commencement. <p>The ULDA will seek to facilitate development in specific areas by:</p> <ul style="list-style-type: none"> Working with landowners to find solutions to specific issues; Build catalyst infrastructure where it will lead to early development within a precinct; Broker discussions with government agencies where required to facilitate resolution of issues; Work with government agencies to bring land to the market where the land is surplus to their requirements; and Undertake studies to address area wide issues.

3. Housing Options

There has been a decline in housing affordability in Queensland which has been exacerbated by increases in interest rates and the contraction in the economy in 2008. Declining housing affordability is particularly pronounced in the inner suburbs of Brisbane as a result of inner urban gentrification.

The ULDA Act specifically states that one of the main purposes of the Authority is to facilitate the provision of 'an ongoing availability of affordable housing options for low to moderate income households'.

Consequently, the ULDA seeks to achieve the development of diverse and inclusive communities by improving housing delivery, affordability, design and choice and specifically the ULDA will seek to increase the provision of affordable, appropriate and accessible housing for low to moderate income earners.

A measure of this success will be:

- Achieving a minimum of 15% of all dwellings developed across the UDAs as affordable to people on low to moderate incomes.
- Achieving a mix of incomes, tenures and price points are available in all UDAs and within a number of precincts within the

UDAs including social, affordable rental, affordable owner occupier housing.

Element	Measure	Actions
Housing Options	Achieving a minimum of 15% of all dwellings across the UDAs as affordable; and Achieve a diversity in housing options.	<p>Implement the following strategies to deliver affordable housing in the UDAs.</p> <ul style="list-style-type: none"> • <i>Development Contributions: Sharing Value Uplift</i> In private development in UDAs where there is significant land value uplift arising from the ULDA Development Scheme, a development contribution towards affordable housing will be required; refer to Infrastructure Strategy. • <i>Development Contributions: Housing Diversity Requirements</i> In all residential developments through appropriate design, reduction in unit and lot sizes, and changes to building practices, residential product will be required to provide diverse housing options. • In addition, a minimum of 5% of residential product will be required to be affordable to rent by the target market; i.e. able to be rented with no more than 30% of gross household income for households at the median level household income in BCC statistical district. • Facilitating Not For Profit Housing (NFP) • This will occur through ensuring a timely development approval process and in some circumstances reduced requirements through the development scheme. • <i>ULDA Development Activities</i> The ULDA Act allows the ULDA to develop land. Surplus income generated from these activities will be utilised for the purposes of funding the ongoing operations of the ULDA and to deliver additional affordable housing outcomes. • <i>Provision of Social Housing</i> (subject to DoH funding): The provision of social housing in all UDAs which is funded by the Department of Housing and managed by the Department or by Not For Profit community housing organisations and meets the needs of the lowest income and highest need households on the housing register.

4. Urban Infrastructure Provision

The Infrastructure Plan outlines the infrastructure required for development in the UDA and the funding and financing principles to contribute towards the delivery of this infrastructure.

The Infrastructure Plan includes catalyst infrastructure to stimulate development in the UDA.

A measure of success for the provision of infrastructure will be the ability to fund the construction of the required works at the time required for the industry to bring sites to the market in an orderly manner.

Element	Measure	Actions
Provision of Infrastructure	Infrastructure is funded	<p>A special rate to fund the identified catalyst infrastructure is modelled and approved by Treasury; and the Minister.</p> <p>Other local area improvement works, identified to be funded by a special rate, is:</p> <ul style="list-style-type: none"> Identified in conjunction with the landowners in that precinct; and Modelled and approved by Treasury and the Minister. <p>The Infrastructure Charges Schedule for water and sewer network infrastructure is;</p> <ul style="list-style-type: none"> formulated and implemented in collaboration with BCC; collected by the ULDA and paid to the BCC to undertake the necessary upgrades when required. <p>The Infrastructure Charges Schedule for other infrastructure is formulated:</p> <ul style="list-style-type: none"> In collaboration with BCC on the infrastructure proposed in each precinct; collected by the ULDA and expended by the ULDA to undertake the necessary works.

5. Ecological Sustainability

The provisions of the land use plan and infrastructure plan reflect an ecological sustainable balance that integrates—

- (vi) protection of ecological processes and natural systems at local, regional, State and wider levels; and
- (vii) economic development; and
- (viii) maintenance of the cultural, economic, physical and social wellbeing of people and communities.

Element	Measure	Actions
Ecological Sustainability		<p>The ecological sustainability principles within the Land Use Plan are enforced.</p> <p>Preparation of additional guidelines to promote and facilitate incorporation of ecological sustainable principles within projects within the UDA.</p> <p>The development industry is encouraged to better the Land Use Plan's provisions and obtain an exemption from the payment of the component of the land value uplift identified to be applied to ecological sustainability.</p> <p>Expenditure of the funds collected from the land value uplift component on ecological sustainability projects within the UDA.</p> <p>Establishment of a close working relationship with tertiary institutions and private industry to identify projects demonstrating ecological sustainable outcomes to be instituted in the UDA.</p> <p>Documentation and promotion of ecological sustainable examples developed within the UDA.</p>

6. Best Practice Urban Design

The land use plan and infrastructure plan have been prepared to result in urban design outcomes of a high standard.

A measure of this success will be the acceptance by the industry and community of the resulting built form.

Element	Measure	Actions
Best Practice Urban Design	Built form outcome is accepted by the industry and community.	<p>The vision for the UDA and its precincts, and the principles contained within Structure Plan are protected through the development approval process.</p> <p>The development requirements are continually assessed and reviewed for their relevance and appropriateness.</p> <p>Design innovation and alternative outcomes are encouraged with an incentive program to be developed to reward excellence in design.</p> <p>Design details are not neglected on their negative impact to the desired outcome.</p> <p>ULDA review panels provide a multi-disciplinary review of development proposals.</p> <p>Establishment of a close working relationship with tertiary institutions and private industry to identify projects demonstrating superior design outcomes to be instituted in the UDA.</p> <p>Documentation and promotion of good design outcomes developed within the UDA.</p>

Schedules

Schedule 1: Exempt Development

Building work
Minor building work or demolition work except where the building is identified as a heritage registered place.
Material change of use of premises
Making a material change of use of premises implied by building work, plumbing work, drainage work or operational work if the work was substantially commenced by the State, or an entity acting for the State, before 31 March 2000.
Making a material change of use of premises for a class 1 or 2 building under the Building Code of Australia (BCA), part A3 if the use is for providing support services and short term accommodation for persons escaping domestic violence.
Reconfiguring a lot
<p>Reconfiguring a lot under the <i>Land Title Act 1994</i>, where the plan of subdivision necessary for the reconfiguration –</p> <ul style="list-style-type: none"> ▪ is a building format plan of subdivision that does not subdivide land on or below the surface of the land; or ▪ is for the amalgamation of two or more lots; or ▪ is for incorporation, under the <i>Body Corporate and Community Management Act 1997</i>, section 41, of a lot with common property for a community titles scheme; or ▪ is for the conversion, under the <i>Body Corporate and Community Management Act 1997</i>, section 43, of lessee common property within the meaning of that Act to a lot in a community titles scheme; or ▪ is in relation to the acquisition, including by agreement, under the <i>Acquisition of Land Act 1967</i> or otherwise, or land by – <ul style="list-style-type: none"> i. A constructing authority, as defined under that Act, for a purpose set out in paragraph (a) of the schedule to that Act; or ii. An authorised electricity entity; or ▪ is in relation to land held by the State, or a statutory body representing the State and the land is being subdivided for a purpose set out in the <i>Acquisition of Land Act 1967</i>, schedule, paragraph (a) whether or not the land relates to an acquisition; or ▪ is for the reconfiguration of a lot comprising strategic port land as defined in the <i>Transport Infrastructure Act 1994</i>; or ▪ is for the <i>Transport Infrastructure Act 1994</i>, section 240; or

<ul style="list-style-type: none"> ▪ is in relation to the acquisition of land for a water infrastructure facility
Subdivision involving road widening and truncations required as a condition of development approval
Operational work
Clearing of vegetation other than marine plants
Operational work or plumbing or drainage work (including maintenance and repair work) if the work is carried out by or on behalf of a public sector entity authorised under a State law to carry out the work.
Erecting no more than one satellite dish on a premises, where the satellite dish has no dimension greater than 1.8 metres.
<p>Filling or excavation where:</p> <ol style="list-style-type: none"> to a depth of one vertical metre or less from ground level on land to that is not referred to in Brisbane City Plan's Acid Sulphate Soil Code, Wetland Code and/or Waterway Code and where the site is not listed on the Contaminated Land Register or Environmental Management Register; or top dressing to a depth of less than 100 vertical millimetres from ground level on land that is not referred to in Brisbane City Plan's Wetland Code and/or Waterway Code.
All aspects of development
All aspects of development a person is directed to carry out under a notice, order or direction made under a State law.
All aspects of development including maintenance that are incidental to and necessarily associated with a Park.
All aspects of development including maintenance that are incidental to and necessarily associated with the RNA show activities.

Development for a utility installation, being an undertaking for the supply of water, hydraulic power, electricity or gas, of any development required for the purpose of that undertaking by way of:

- (a) development of any description at or below the surface of the ground
- (b) the installation of any plant inside a building or the installation or erection within the premises of a generating station of any plant or other structures or erections required in connection with the station
- (c) the installation or erection of an electricity distribution or supply network (and any components of such a network) which operates at voltages up to and including 33 kilovolts, excluding new substations
- (d) the installation or erection of a new electrical transmission line on land on which such a line has already been erected and which is identified as a future line on Plan No: A4H303666- Powerlink Electricity Network and Plan No: 7775-A4/A-Energex 110kV Feeder Network
- (e) the augmentation of a Powerlink substation identified on Plan No: A4-H-303666-Powerlink Electricity Network and of any Energex substation existing as at the date this clause took effect
- (f) the placing of pipes above the surface of the ground for the supply of water, the installation in a water distribution system of booster stations and meter or switchgear houses - any other development not specifically referred to above except where it involves erection of new buildings or reconstruction or alteration of existing buildings that would materially affect their design or external appearance
- (g) any other development not specifically referred to above except where it involves erection of new buildings or reconstruction or alteration of existing buildings that would materially affect their design or external appearance

This exempt does not apply for a utility installation, where it involves:

- i. the erection of new buildings
- ii. power generation plant where burning 100kg or more of fuel an hour
- iii. reconstruction or alteration of existing buildings that would materially affect their design or external appearance
- iv. waste handling, treatment and disposal facility

Development involving the construction, maintenance or operation of roads, busways and rail transport infrastructure, and things associated with roads, busways and rail transport infrastructure by or on behalf of or under contract with the ULDA, Brisbane City Council or the Queensland Government. Things associated with roads, busways and rail transport infrastructure include but are not limited to:

- Activities undertaken for road construction
- Traffic signs and controls
- Depots
- Road access works
- Road construction site buildings

- Drainage works
- Ventilation facilities, including exhaust fans and outlets
- Rest area facilities and landscaping
- Parking areas
- Public passenger transport infrastructure
- Control buildings
- Toll plazas
- Rail transport infrastructure

Schedule 2: Definitions

List

Use Definitions

Commercial

- Business
- Home Based Business
- Office
- Sales Office and Display Home"

Industrial

- Extractive Industry
- General Industry
- Heavy Industry
- Light Industry
- Service Industry

Residential

- House
- Multiple Residential
- Other Residential
- Relocatable Home and Caravan Park

Retail

- Food Premises
- Fast Food Premises
- Market
- Service Station

- Shop
- Shopping Centre
- Showroom and Display Facilities

Rural

- Agriculture

Service, Community and other

- Car Park
- Cemetery
- Child Care Centre
- Community Facility
- Crematorium
- Educational Establishment
- Emergency Services
- Environmentally Relevant Activities
- Funeral Parlour
- Hospital
- Landing
- Marina
- Place of Assembly
- RNA Showground
- Utility Installation

Sport, Recreation and Entertainment

- Indoor Sport, Recreation and Entertainment
- Outdoor Sport, Recreation and Entertainment
- Park

Tourism

- Tourist Facility
- Visitor Accommodation

Administrative Terms

- Affordable Housing
- Authority
- Basement
- Building Height
- Development Scheme
- Filling or Excavation
- Ground Level
- Gross Floor Area
- Mezzanine
- Minor Building or Demolition Work
- Plot Ratio
- Private Open Space
- Setback
- Site Coverage
- Storey
- Uplift
- Urban Design

Use Definitions

Residential

(a) House

Premises used for residential purposes where freestanding on its own lot used as one self contained dwelling.

(b) Multiple Residential

Premises used for residential purposes if there are two (2) or more dwelling units on any one (1) lot. Multiple Residential dwelling units may be contained on one lot or each dwelling unit may be contained on its own lot subject to Community Title Schemes. The term Multiple Residential does not include a House, as defined herein.

(c) Other Residential

Premises used for the accommodation and care of aged and retired people, small groups of disadvantaged persons or persons who are being nursed, require ongoing supervision/support, or are convalescing. This term may include but is not limited to ancillary dining and recreation facilities, administration offices, laundries, kitchens, ancillary medical facilities and residential accommodation for management and staff.

Relocatable Home & Caravan Park

Premises used for the parking or location of relocatable homes, caravans, self contained cabins, tents and similar structures for the purpose of providing residential accommodation.

The term includes ancillary facilities such as amenities, laundries, kitchens, a kiosk and recreation facility residential accommodation for persons associated with the development. It also includes a manager's office and residence.

Industrial

(a) Extractive Industry

Premises used for extraction of sand, gravel, soil, rock, stone or similar substance from land. The term includes ancillary storage, loading or cartage and any crushing, screening, washing, blending or other treatment processes of material extracted from the site.

(b) General Industry

Premises used for making, assembling, dismantling, break up, servicing, storing, repairing goods, or treating waste where potential impacts exist. The use includes but is not limited to the following –

- (i) fuel burning
- (ii) boat maintenance
- (iii) battery recycling
- (iv) water treatment
- (v) beverage production
- (vi) bottling and canning
- (vii) concrete batching
- (viii) tyre retreading
- (ix) metal forming
- (x) edible oil processing
- (xi) seafood processing
- (xii) milk processing

(c) Heavy Industry

Premises used for making, assembling, dismantling, break up, servicing, storing, repairing goods, or treating waste of significant impacts which are likely to be noxious and/or hazardous and require isolation or significant buffering from other buildings and uses. The use includes but are not limited to the following–

- (i) alcohol distilling

- (ii) boiler making
- (iii) metal recovery
- (iv) sugar milling or refining
- (v) meat processing
- (vi) crushing, milling and grinding
- (vii) rendering
- (viii) pet, stock or aquaculture food manufacturing
- (ix) textile manufacturing
- (x) tyre manufacturing
- (xi) chemical manufacturing, processing or mixing
- (xii) chemical storage
- (xiii) coke producing
- (xiv) gas producing
- (xv) paint manufacturing
- (xvi) crude oil or petroleum product storage (excluding service stations)
- (xvii) oil refining or processing
- (xviii) fuel gas refining or processing

- metal works, surface coating and foundry
- mineral processing
- battery manufacturing
- manufacturing of plastic, plaster, pulp or paper
- sawmilling or wood chipping or chemically treating timber chemical or oil recycling.

This use does not include any other Industrial Uses or, Service Station.

(d) Light Industry

Premises used for making, assembling, dismantling, break up, servicing, storing, repairing goods, or treating waste of a small scale and low impact similar to those activities set out below and ancillary activities that support the industrial use such as administration offices or sales and display areas for products. The use includes but is not limited to the following -

- (i) printing
- (ii) all industrial activities not Environmentally Relevant Activities, except where defined.

(e) Research and Technology Facility

Premises used for scientific or technological research development or testing.

(f) Service Industry

Premises used for a small scale, low impact industrial activity which is intended to provide services to the general public or is similar to those activities set out below and ancillary activities that support the industrial use such as administration offices or sales and display areas for products manufactured, assembled or finished on the site including:

- (i) making of the following
 - artificial flowers'
 - bread, cakes and pastry;
 - dental prostheses;
 - fashion accessories;
 - garments;
 - jewellery;
 - optical goods, being spectacles and the like;
 - soft furnishings;
 - toys;
- (ii) assembling the following from components manufactured elsewhere—
 - aids and appliances for people with a disability;
 - audio-visual equipment;

- barbeques;
- blinds;
- furniture;
- portable domestic electrical appliances;
- domestic light fittings and accessories;
- scientific instruments;
- sports equipment, other than ammunition, vehicles and watercraft;
- television and video equipment.

(iii) repairing and servicing the following –

- blinds;
- cameras or other photographic equipment;
- canvas goods, tents and camping soft goods;
- computers and computer equipment;
- electronic instruments and equipment;
- garments;
- mowers, including motor mowers and portable gardening equipment;
- optical goods, being spectacles and the like;
- domestic electrical appliances;
- power and other tools;
- scientific instruments;

(iv) providing the following services -

- book binding;
- document duplicating or copying or photocopying;
- engraving by hand;
- laboratory facilities;
- locksmith services;
- photographic film processing;
- picture framing;
- plan printing;
- restoration of small articles of a personal or domestic nature works of art;
- studio facilities for film, theatre or television;

The term does not include any other Industrial Use.

Sport, Recreation and Entertainment

(a) Indoor

(i) Indoor sport, recreation and entertainment

Premises used for sport, physical exercise, recreation, public entertainment predominantly within a building. The term includes facilities commonly described as sports centre, gymnasium, convention centres, amusement

and leisure centres, cinema, nightclub, adult entertainment theatre and hotel.

(b) Outdoor

(i) Outdoor Recreation and Sport

Premises used for any sporting or recreational activity, or other leisure past time, which is conducted wholly or mainly outside of a building.

The term includes such typical premises as (outdoor) public swimming pools, golf courses and driving ranges, outdoor courts and sportsgrounds, and the like. The term also includes the provision of clubhouse and other ancillary facilities.

(ii) Park

Premises used by the public for free recreation and enjoyment, but used infrequently for events.

Facilities for park users may include children's playground equipment, informal sports fields, vehicle parking and other public conveniences.

Tourism

(a) Tourist Facility

Premises used, or intended to be used, for providing entertainment, recreation or similar

facilities for the general touring or holidaying public. The term includes associated short term accommodation or facilities providing meals.

(b) Visitor Accommodation

Premises used for short term accommodation for the general touring, holidaying or visiting public. The term includes associated facilities providing meals.

Commercial

(a) Business

Premises used for administration, clerical, technical, professional, medical or veterinarian services or other business activity where no goods or materials are made, sold or hired on the premises.

(b) Home Based Business

House or multiple residential unit used for an occupation or business activity as a secondary use where:

- (i) the floor area used specifically for the home business does not exceed 50m²;
- (ii) any visitor accommodation does not exceed 4 visitors;
- (iii) there is no hiring out of materials, goods, appliances or vehicles;

(iv) there is no repairing, servicing, cleaning or loading of vehicles not normally associated with a house;

(v) the maximum height of a new building, structure or object does not exceed the height of the house and the setback is the same as, or greater than, buildings on adjoining properties.

(c) Office

Premises used only for administration, clerical, technical or professional advice, where no goods or materials are made, sold or hired on the premises and where the principle activity provides office based administrative functions of an organisation.

(d) Sales Office and Display Home

Premises, including a caravan or relocatable home structure, used for the promotion and/or sale of land and/or buildings within an estate, where such premises are located within the estate which is proposed to be promoted or sold.

Retail

(a) Fast Food Premises

Premises used for the preparation and sale of food to the public generally for immediate

consumption off the premises. The term may include drive through facilities and ancillary facilities for the consumption of food on the premises.

(b) Food Premises

Premises used for the preparation and sale of food and drink to the public for consumption on or off the site. The term includes a café, restaurant, coffee shop, bistro, tea room, milk bar, snack bar, kiosk, take-away, but does not include a Fast food premises as separately defined.

(c) Market

Premises used for the display and sale of goods to the public on a regular but infrequent basis, where goods are primarily sold from temporary structures such as stalls, booths or trestle tables. The use includes ancillary food and beverage sales and ancillary entertainment provided for the enjoyment of customers.

(d) Service Station

Premises used for the retail sale of fuel including petrol, liquid petroleum and automotive distillate to refuel motor vehicles.

(e) Shop

Premises used for the display, sale or hire of goods to the public. The term includes the incidental storage of goods on the premises and the ancillary or incidental preparation of food. It also includes hairdressing, minor appliance repairs, alterations, retail dry cleaning, liquor store, department store, discount department store, discount variety stores and betting agencies. The term does not include the types of repairs as separately defined by Light Industry.

(f) Shopping Centre

Premises used for display, sale or hire of goods comprising two or more individual tenancies, comprising primarily Shops and which function as an integrated complex.

(g) Showroom, Storage and Display facilities

Premises used for the display and sale of goods, by retail or by auction. The term also includes storage.

Rural

(a) Agriculture

Premises used for commercial purposes for the:

- (i) growing and harvesting of trees, crops, pastures, flowers, fruit, turf, vegetables and the like for commercial or business purposes. The definition includes the storage and packing of produce grown on the subject site and the repair and servicing of machinery and other ancillary activities; or
- (ii) breeding, keeping, rearing, training, boarding or stabling of animals

Service, Community and other

(a) Car Park

Premises used for the parking of motor vehicles where such parking is not ancillary to some other development on the same site.

(b) Cemetery

Premises used for the interment of the dead. The term does not include a Crematorium or Funeral Parlour.

(c) Child Care Centre

Premises used for the minding or care, but not residence of children generally under school age, The use includes but is not limited to a kindergarten, crèche' or early childhood centre.

(d) Community Facility

Premises used for social or community purposes, such as a community centre, library, public building or the like.

(e) Crematorium

Premises used for cremating human corpses after death. The term does not include a Funeral Parlour or Cemetery.

(f) Educational Establishment

Premises used for systematic training and instruction, including any other ancillary facility. This definition includes prep facilities, primary school, secondary school, college, university, technical institute, academy or other educational centre.

This term may include residential accommodation and other ancillary uses provided for the employees and the students of such premises.

(g) Emergency Services

Premises used for services which respond to community need in an emergency.

(h) Environmentally Relevant Activities

As defined in the *Environmental Protection Act 1994*.

(i) Funeral Parlour

Premises used for arranging and conducting funerals, memorial services and the like, but does not include burial and cremation. The definition includes the storage and preparation of bodies for burial or cremation and includes a mortuary and funeral chapel. The term does not include a Cemetery or Crematorium.

(j) Hospital

Premises used for the medical or surgical care or treatment of persons accommodated on the premises to receive this care or treatment.

The use includes care or treatment of persons such as emergency patients or out-patients not residing on the premises

(k) Landing

Structure for mooring or launching boats and / or for passengers to embark and disembark.

(l) Place of Assembly

Premises used for worship and activities of a religious organisation, community or association.

(m) RNA Showgrounds

Premises used for RNA activities.

(n) Utility Installation

Premises used for the purpose of providing utility or telecommunications services, which does not fall within the Schedule of Facilities and Areas under the *Telecommunications Act 1997*. The term may include but is not limited to:

- (i) A telecommunications tower more than 5m in height; and
- (ii) An equipment shelter of more than 7.5m² in area and 3m in height.

Administrative Terms

(a) Affordable Housing

Affordable housing refers to housing which can be reasonably afforded by low to moderate income households. This includes social (public and community) housing, affordable not for profit and private rental housing and affordable home purchase options including housing aimed at the first home owners market (refer to the ULDA Affordable Housing Strategy for more information).

(b) Authority

The Urban Land Development Authority.

(c) Basement

A storey either below ground level or where the underside of the ceiling projects no more than one (1) metre above ground level.

(d) Building Height

The maximum vertical distance between the natural ground level and the roof or parapet at any point but not including an antenna, aerial, chimney, flagpole or the like.

(e) Development Scheme

As defined in the *Urban Land Development Authority Act 2007*.

(f) Filling or Excavation

Operational work for filling or excavating that materially affects premises or their use.

(g) Ground Level

The levels on a site which precede development, excluding any site works that are subject to a related development approval, unless approved by the ULDA or established as part of a reconfiguration of the land preceding development.

(h) Gross Floor Area

The total floor area of all *storeys* of a building, including mezzanines, measured from the outside of external walls or the centre of a common wall, excluding areas used for;

- (i) building services;
- (ii) ground floor public lobby;
- (iii) a public mall in a shopping complex;
- (iv) the parking, loading and manoeuvring of motor vehicles; and
- (v) private balconies whether roofed or not

(i) Mezzanine

An intermediate floor within a room.

(j) Minor building or demolition work means:

- Internal building or demolition work;
- External building work such as roofs over existing decks or paved areas, sun hoods, carports up to 25m² and the like;
- Raising a house where the resultant height does not exceed 8.5m;
- External demolition of post-1946 additions, alterations, extensions or outbuildings or pre-1946 free standing outbuildings at the rear of the building.

(k) Plot Ratio

The ratio between the gross floor area of a building and the total area of the site.

(l) Private Open Space

An outdoor area for the exclusive use of the occupants.

(m) Public Realm

Refers to spaces that are used by the general public, including streets, squares, parks and environmental areas.

(n) Setback

The shortest distance measured horizontally from the outer most projection of the building or structure to the vertical projection of the boundary of the lot.

(o) Site Coverage

The proportion of the site covered by buildings, including roof overhangs.

(p) Storey

A space within a building which is situated between one floor level and the floor level next above, or if there is no floor above the ceiling or roof above, but not:

- (i) a space that contains only –

- a lift shaft, stairway or meter room; or
- a bathroom, shower room, laundry, toilet or other sanitary compartment; or
- accommodation intended for not more than 3 vehicles; or
- a combination of the above; or
- a mezzanine.

(q) Sub-precinct Plan

Refer section 4.0.

(r) Uplift

The increase in development yield or land value arising from the ULDA Development Scheme⁷.

(s) Urban Design

Refers to the holistic design of urban environments, including the overall townscape, individual buildings, street networks, streetscapes, parks and other public spaces.

⁷ Refer to the ULDA Affordable Housing Strategy for more information



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